

217 WEST 57TH STREET NEW YORK, NY

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 Third Avenue, 7th Floor
New York, NY 10022 USA
TEL: 212 712 6000
FAX: 212 712 6100

ARCHITECT OF RECORD:

AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500
FAX: 416 967 7150

DESIGN ARCHITECT:

Adrian Smith + Gordon Gill Architecture
111 West Monroe Street Suite 2300
Chicago IL 60603 USA
TEL: 312 920 1888
FAX: 312 920 1775

INTERIOR DESIGNER:

Rottet Architecture and Design Stuido, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001 USA
TEL: 646 998 7000

STRUCTURAL ENGINEERS:

WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888
FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656
FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727 USA
TEL: 212 479 5400
FAX: 212 479 5444

CODE CONSULTANT:

Construction Consulting Associates
100 Church Street
New York, NY 10007 USA
TEL: 212 385 1818
FAX: 212 385 1911

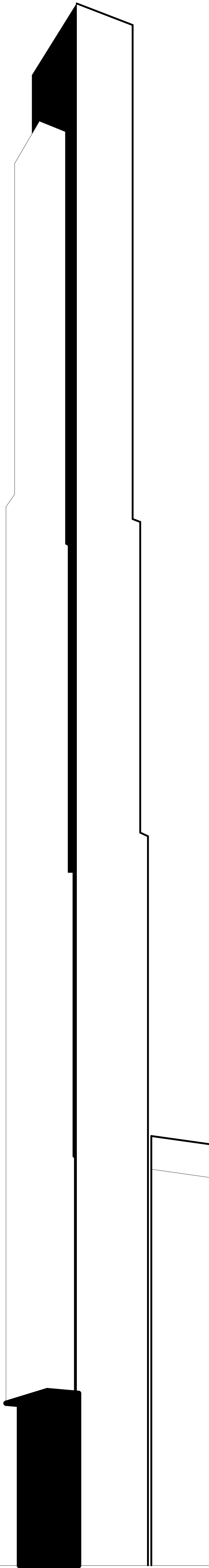
CURTAIN WALL CONSULTANT:

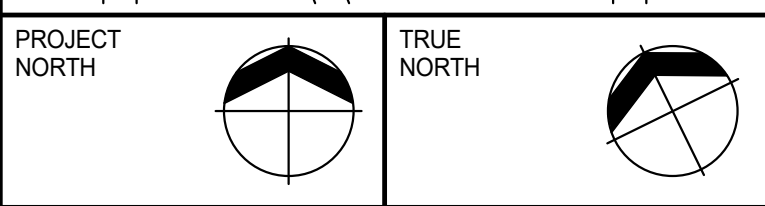
AJLP Consulting
40 Worth Street Suite 826
New York, NY 10013 USA
TEL: 212 757 5659
FAX: 212 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462
FAX: 212 759 6540

ARCHITECTURAL - 12 DECEMBER 2017 - D.O.B. AMENDMENT 4





DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540		
No.	DESCRIPTION	DATE


D.O.B. SUBMISSION

CONSULTANT:

 **AAI**
ARCHITECTS, P.C.

DRAWING TITLE:

DRAWING LIST



DRAWN: <u>Wahid</u>	REV.
CHK: <u>Checker</u>	30
SCALE: <u>12" = 1'-0"</u>	
DWG No: C 001.01	

--	--

--	--

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		3,960	106	3,854
RETAIL		15,622	2,985	12,636
TOTAL		19,581	3,091	16,490

GROUND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	1.1	3'-11"	8'-8"
RESIDENTIAL	P	1.2	1'-3"	1'-8"
RESIDENTIAL	P	1.3	1'-5"	7'-4"
RESIDENTIAL	P	1.4	1'-9"	8'-2"
RESIDENTIAL	M	1.5	3'-4"	8'-2"
RESIDENTIAL	P	1.6	2'-9"	3'-9"
RESIDENTIAL	P	1.7	1'-4"	2'-9"
RESIDENTIAL	P	1.8	1'-8"	2'-2"
SUBTOTAL				105.7
RETAIL	M	1.9	46'-5"	57'-4"
RETAIL	M	1.10	5'-8"	12'-8"
RETAIL	P	1.11	4'-8"	4'-11"
RETAIL	P	1.12	1'-3"	1'-3"
RETAIL	P	1.13	1'-4"	1'-4"
RETAIL	P	1.14	1'-4"	1'-4"
RETAIL	P	1.15	1'-4"	1'-4"
RETAIL	O	1.16	3'-10"	17'-1"
RETAIL	O	1.17	9'-0"	17'-1"
SUBTOTAL				2,985.3

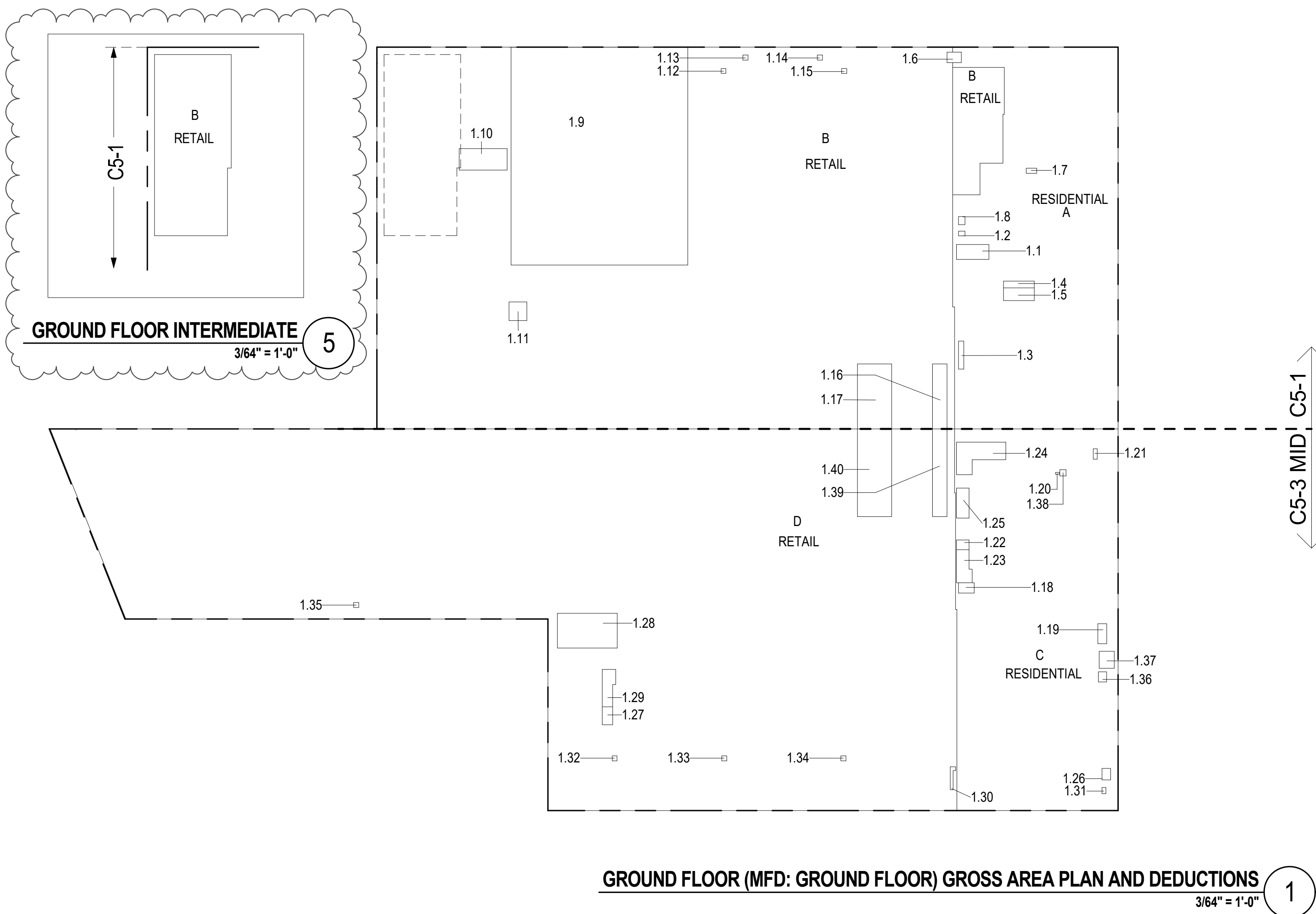
* PERMITTED FLOOR AREA DEDUCTION FOR REQUIRED LOADING BERTHS: 200% OF 12 X 37 X 3 NOS. = 2,664 SF

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,244	168	4,076
RETAIL		16,866	532	16,334
TOTAL		21,110	700	20,410

GROUND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	P	1.18	2'-8"	4'-2"
RESIDENTIAL	P	1.19	2'-4"	8'-3"
RESIDENTIAL	M	1.20	0'-6"	1'-0"
RESIDENTIAL	P	1.21	1'-0"	2'-9"
RESIDENTIAL	P	1.22	2'-7"	3'-3"
RESIDENTIAL	E	1.23	3'-4"	9'-6"
RESIDENTIAL	M	1.24	4'-5"	17'-1"
RESIDENTIAL	M	1.25	3'-3"	7'-11"
SUBTOTAL				168.3
RETAIL	M	1.26	2'-3"	3'-0"
RETAIL	M	1.27	2'-9"	4'-9"
RETAIL	M	1.28	9'-2"	15'-9"
RETAIL	E	1.29	2'-10"	10'-7"
RETAIL	P	1.30	0'-9"	6'-9"
RETAIL	M	1.31	1'-1"	1'-8"
RETAIL	P	1.32	1'-3"	1'-4"
RETAIL	P	1.33	1'-4"	1'-4"
RETAIL	P	1.34	1'-4"	1'-4"
RETAIL	P	1.35	1'-4"	1'-4"
RETAIL	M	1.36	2'-2"	2'-8"
RETAIL	P	1.37	4'-0"	4'-6"
RETAIL	P	1.38	1'-8"	1'-8"
RETAIL	O	1.39	3'-10"	23'-1"
RETAIL	O	1.40	9'-0"	23'-1"
SUBTOTAL				531.9

GROUND FLOOR INTERMEDIATE AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RETAIL	B	943	0	943
TOTAL		943	0	943

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,204	274	7,930
RETAIL		33,431	3,517	29,914
TOTAL		41,635	3,791	37,843



ZONING AND DEDUCT LEGEND	
<input type="checkbox"/>	DEDUCTIONS
M -	MECHANICAL ROOM / RISER
E -	ELECTRICAL SHAFT / RISER
P -	PLUMBING RISER
BG -	BELOW GRADE
O -	OPENING TO BELOW
L -	LOADING BAYS
ST -	44\"/>
G -	GAP FROM ADJACENT BUILDING
---	DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

GROUND FLOOR (MFD: GROUND FLOOR) GROSS AREA PLAN AND DEDUCTIONS 3/64" = 1'-0" 1

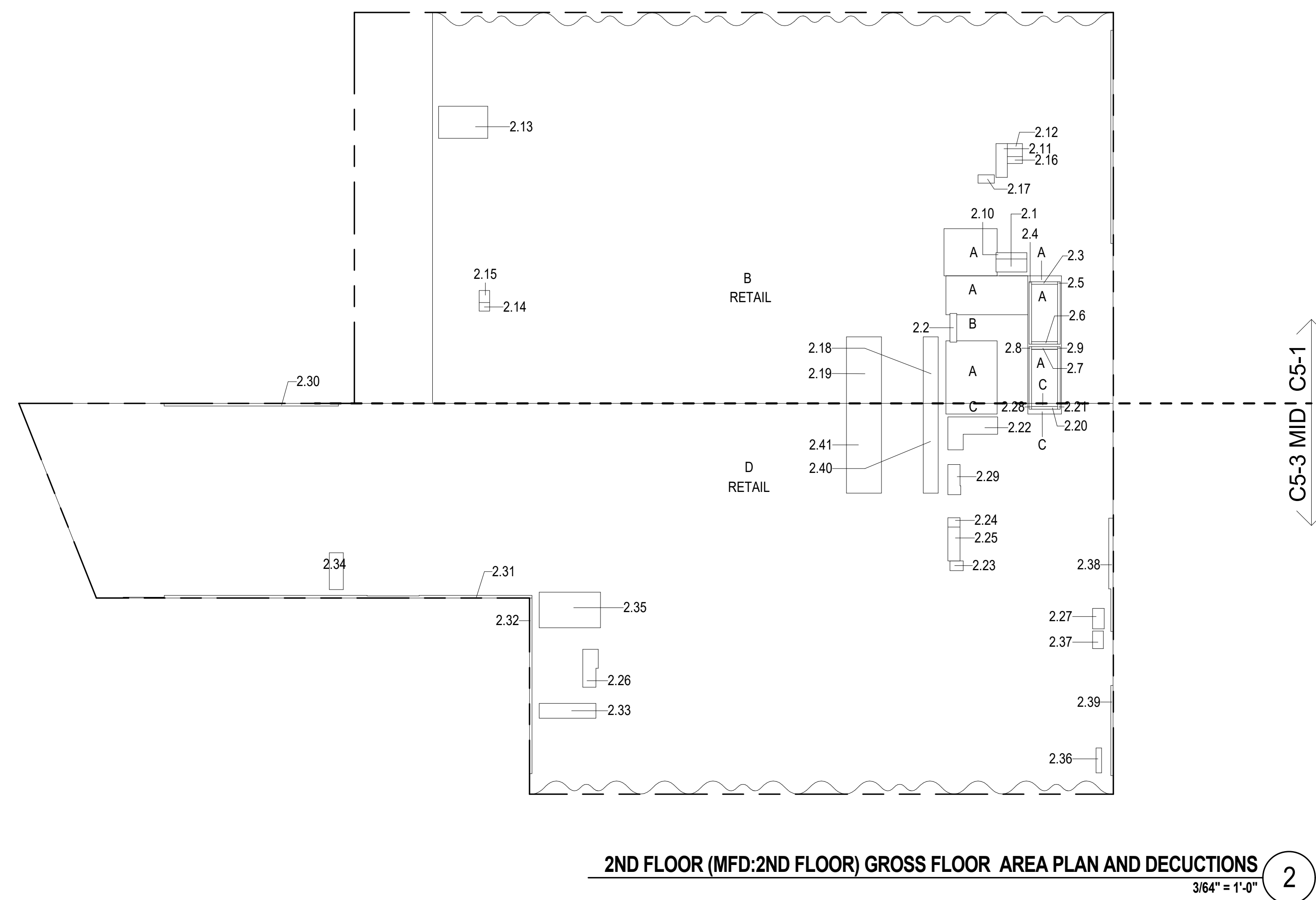
2ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		919	106	813
RETAIL		16,279	393	15,886
TOTAL		17,198	499	16,699

2ND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	2.1	3'-4"	7'-11"
RESIDENTIAL	P	2.2	1'-9"	7'-4"
RESIDENTIAL	ST	2.3	0'-8"	6'-8"
RESIDENTIAL	ST	2.4	0'-8"	16'-1"
RESIDENTIAL	ST	2.5	0'-8"	16'-1"
RESIDENTIAL	ST	2.6	0'-8"	6'-8"
RESIDENTIAL	ST	2.7	0'-8"	7'-0"
RESIDENTIAL	ST	2.8	0'-8"	14'-7"
RESIDENTIAL	ST	2.9	0'-8"	14'-2"
RESIDENTIAL	P	2.10	1'-7"	7'-11"
SUBTOTAL				106.3
RETAIL	M	2.11	2'-11"	8'-8"
RETAIL	M	2.12	3'-4"	3'-10"
RETAIL	M	2.13	8'-3"	12'-8"
RETAIL	P	2.14	2'-3"	2'-9"
RETAIL	M	2.15	2'-9"	3'-1"
RETAIL	P	2.16	1'-10"	3'-10"
RETAIL	P	2.17	2'-2"	4'-3"
RETAIL	O	2.18	3'-10"	17'-1"
RETAIL	O	2.19	9'-0"	17'-1"
SUBTOTAL				392.8

2ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		251	197	53
RETAIL		20,591	715	19,876
TOTAL		20,842	913	19,929

2ND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	2.20	0'-8"	6'-8"
RESIDENTIAL	ST	2.21	0'-8"	1'-6"
RESIDENTIAL	M	2.22	4'-3"	16'-11"
RESIDENTIAL	P	2.23	2'-6"	3'-5"
RESIDENTIAL	P	2.24	2'-5"	3'-1"
RESIDENTIAL	E	2.25	3'-1"	8'-9"
RESIDENTIAL	E	2.26	3'-6"	10'-3"
RESIDENTIAL	P	2.27	3'-0"	5'-3"
RESIDENTIAL	ST	2.28	0'-8"	1'-6"
RESIDENTIAL	M	2.29	3'-1"	8'-0"
SUBTOTAL				197.5
RETAIL	G	2.30	0'-8"	44'-9"
RETAIL	G	2.31	0'-7"	105'-3"
RETAIL	G	2.32	0'-8"	45'-2"
RETAIL	M	2.33	3'-10"	14'-7"
RETAIL	M	2.34	3'-7"	9'-5"
RETAIL	M	2.35	9'-2"	15'-9"
RETAIL	P	2.36	1'-5"	6'-5"
RETAIL	P	2.37	2'-9"	4'-6"
RETAIL	G	2.38	0'-11"	29'-4"
RETAIL	G	2.39	0'-7"	23'-2"
RETAIL	O	2.40	3'-10"	23'-1"
RETAIL	O	2.41	9'-0"	23'-1"
SUBTOTAL				715.4

2ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,170	304	866
RETAIL		36,870	1,108	35,762
TOTAL		38,040	1,412	36,628



2ND FLOOR (MFD: 2ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3/64" = 1'-0" 2

3RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		933	120	813
RETAIL		16,297	448	15,849
TOTAL		17,230	569	16,662

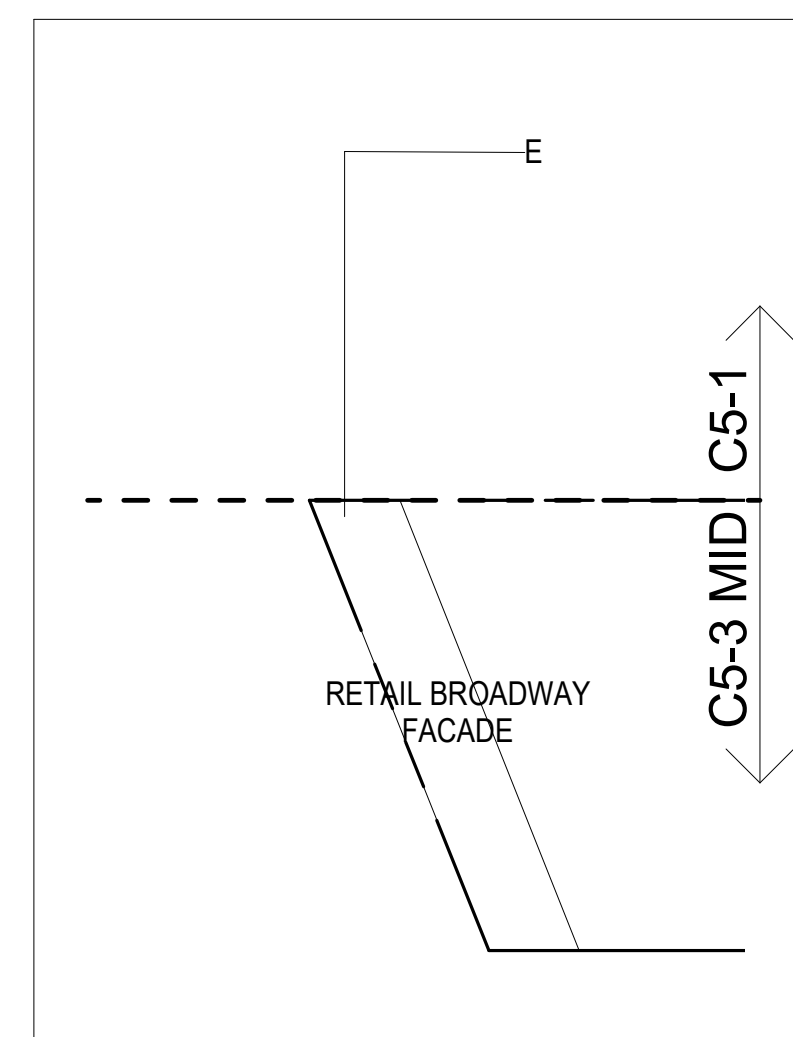
3RD FLOOR FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	3.1	2'-10"	7'-11"
RESIDENTIAL	P	3.2	1'-9"	7'-4"
RESIDENTIAL	ST	3.3	0'-8"	6'-8"
RESIDENTIAL	ST	3.4	0'-8"	16'-1"
RESIDENTIAL	ST	3.5	0'-8"	16'-1"
RESIDENTIAL	ST	3.6	0'-8"	6'-8"
RESIDENTIAL	ST	3.7	0'-8"	6'-8"
RESIDENTIAL	ST	3.8	0'-8"	14'-7"
RESIDENTIAL	ST	3.9	0'-8"	14'-7"
RESIDENTIAL	M	3.10	2'-5"	7'-6"
RESIDENTIAL	P	3.11	1'-7"	7'-11"
SUBTOTAL				120.3
RETAIL	P	3.12	2'-3"	2'-9"
RETAIL	M	3.13	2'-9"	3'-1"
RETAIL	M	3.14	7'-6"	7'-10"
RETAIL	M	3.15	8'-3"	12'-8"
RETAIL	M	3.16	4'-4"	11'-11"
RETAIL	O	3.17	3'-10"	17'-1"
RETAIL	O	3.18	9'-0"	17'-1"
SUBTOTAL				448.4

3RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		443	390	53
RETAIL		20,399	537	19,862
TOTAL		20,842	927	19,915

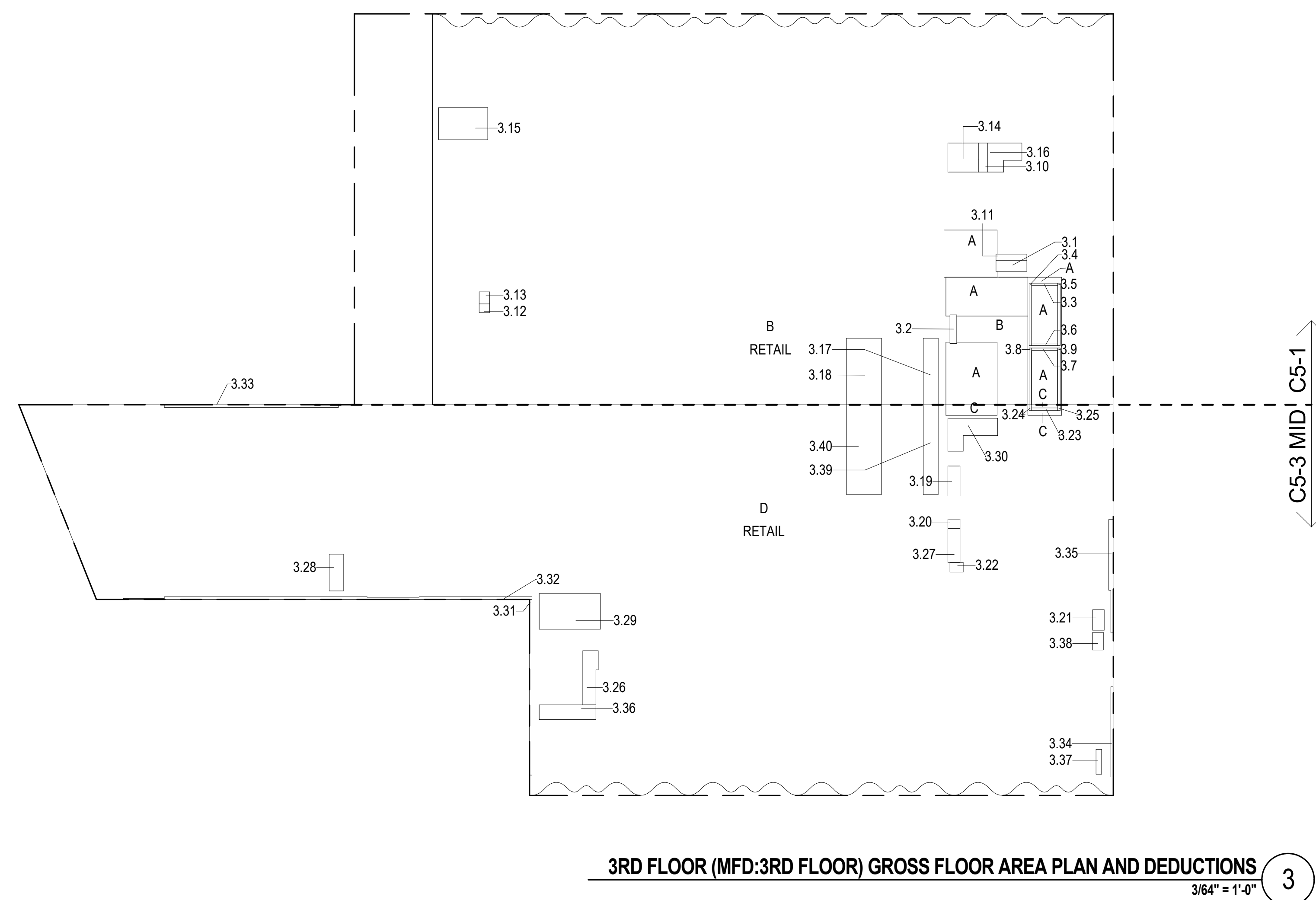
3RD FLOOR FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	3.19	3'-1"	7'-9"
RESIDENTIAL	P	3.20	2'-5"	3'-1"
RESIDENTIAL	P	3.21	3'-0"	9'-3"
RESIDENTIAL	P	3.22	2'-6"	3'-5"
RESIDENTIAL	ST	3.23	0'-8"	6'-8"
RESIDENTIAL	ST	3.24	0'-8"	1'-6"
RESIDENTIAL	ST	3.25	0'-8"	1'-6"
RESIDENTIAL	E	3.26	3'-5"	14'-5"
RESIDENTIAL	E	3.27	3'-1"	8'-9"
RESIDENTIAL	M	3.28	3'-8"	9'-5"
RESIDENTIAL	M	3.29	9'-2"	15'-9"
RESIDENTIAL	M	3.30	4'-3"	16'-11"
SUBTOTAL				390.7
RETAIL	G	3.31	0'-8"	45'-2"
RETAIL	G	3.32	0'-7"	105'-3"
RETAIL	G	3.33	0'-8"	44'-9"
RETAIL	G	3.34	0'-7"	23'-2"
RETAIL	G	3.35	0'-11"	29'-4"
RETAIL	M	3.36	3'-10"	14'-7"
RETAIL	P	3.37	1'-5"	6'-5"
RETAIL	P	3.38	2'-9"	4'-6"
RETAIL	O	3.39	3'-10"	23'-1"
RETAIL	O	3.40	9'-0"	23'-1"
SUBTOTAL				536.9

3RD FLOOR BROADWAY FACADE AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RETAIL	E	502	0	502
TOTAL		502	0	502

3RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,377	510	867
RETAIL		37,198	985	36,213
TOTAL		38,575	1,495	37,079



3RD FLOOR - BROADWAY FACADE 3/64" = 1'-0" 4



3RD FLOOR (MFD: 3RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3/64" = 1'-0" 3

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

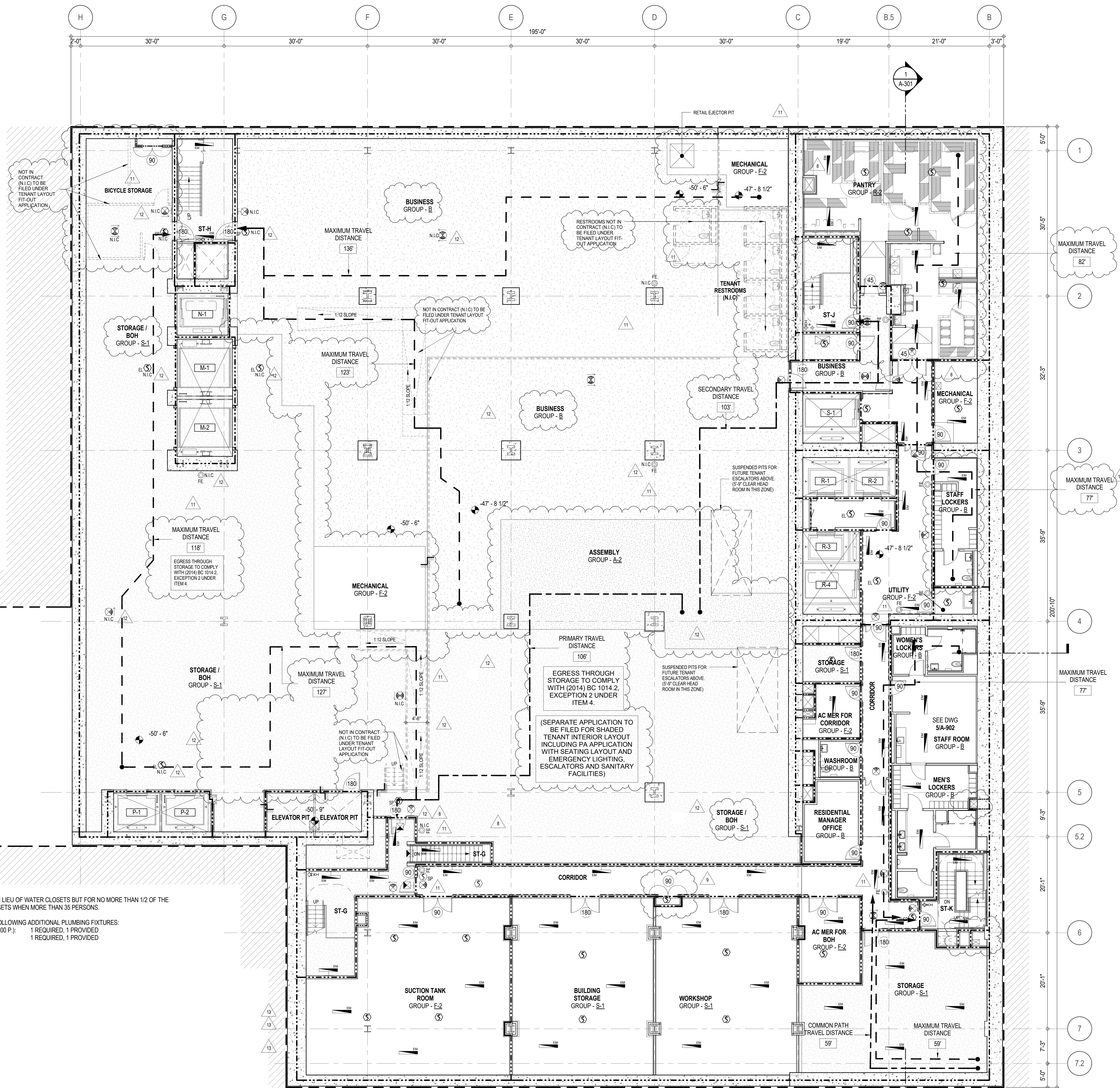
STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX:

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.79"	21	81.43"
STAIR - H	11"	6.75"	24	74.25"
STAIR - J	11"	6.79"	21	74.64"
STAIR - K	11"	6.79"	21	61.07"





















* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P.): 1 REQUIRED, 1 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'
S-1	200'	100'	20'
B	300'	100'	50'
A-2	150' (PRIMARY) / 250' SECONDARY	75'	20'
ACCESSORY TO R-1 (BC TABLE 1024.7)			

EGRESS AND FIRE RATING LEGEND		
— — — — —	ONE HOUR RATED PARTITION	COMMON TRAVEL DISTANCE
- - - - -	TWO HOUR RATED PARTITION	DEAD END
— — — — —	THREE HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
- - - - -	FOUR HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
— — — — —	NON RATED SMOKE SEPARATION	WITHIN DWELLING UNIT

SYMBOLS LEGEND			
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		ILLUMINATED NO EXIT SIGN
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
			FEC FIRE EXTINGUISHER CABINET
			SPRINKLER HEAD (REFER TO FP DRAWINGS)
			STAIRCASE
			SPRINKLER RISER
			SIAMESE CONNECTION
			SMOKE DETECTOR
			SMOKE /CARBON MONOXIDE DETECTOR
			CEILING MOUNTED EMERGENCY LIGHT
			WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

<p>KEY PLAN:</p>		
<p>PROJECT NORTH</p>	<p>TRUE NORTH</p>	
<p>DEVELOPER:</p> <p>EXTELLE DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR NEW YORK, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100</p>		
<p>DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO IL 60603 TEL: 312 920 1888 FAX: 312 920 1775</p>		
<p>INTERIOR DESIGNER: Residential Rotter Architecture and Design Studio, PLLC 258 Fifth Ave., 7th Floor New York, NY 10001 TEL: 646 989 7000 FAX:</p>		
<p>ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AJI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 1150</p>		
<p>STRUCTURAL ENGINEERS: WSP CANTOR SEINUK 228 Astor 45th Street New York, NY 10017 USA TEL: 212 687 9888 FAX: 646 467 5501</p>		
<p>MEP ENGINEERS: AKF GROUP 165 Broadway, 22nd Floor New York, NY 10006 USA TEL: 212 334 6666 FAX: 212 334 6668</p>		
<p>GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Penn Plaza - 360 West 31st Street, 8th Floor New York, NY 10007-2277 TEL: 212 479 5400 FAX: 212 479 5444</p>		
<p>CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1811</p>		
<p>CURTAINWALL CONSULTANT: AJLP Consulting 40 Worth Street, Suite E28 New York, NY 10013 TEL: 212 787 5099 FAX: 646 219 8908</p>		
<p>LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540</p>		
No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6 CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 6	26 AUG 16
13	CD BULLETIN ISSUE - 9	13 FEB 17
	D.O.B. AMENDMENT 4	12 DEC 17
<p>0 4'-0" 8'-0" 16'-0"</p>		
<p>D.O.B. SUBMISSION</p>		
<p><small>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</small></p>		
<p>ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>		
<p>CONSULTANT:</p> <div style="text-align: center;"> AAI ARCHITECTS, P.C. </div>		
<p>PROJECT:</p> <p>217 WEST 57TH STREET <u>NEW YORK, NY</u></p>		
<p>DRAWING TITLE:</p> <p>SUB CELLAR 2 FLOOR PLAN</p>		
<p>SEAL & SIGNATURE:</p> <div style="text-align: center;"> _____ DAVID A. DELUCA PROFESSIONAL ENGINEER </div>	<p>DATE: 15 OCT 14</p> <p>PROJECT NO: 1216-00</p> <p>DRAWN: Author REV:</p> <p>CHECK: Checker</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DWG NO:</p> <p style="font-size: 2em; font-weight: bold; text-align: center;">A-032.02</p>	
<p>DOB EMPLOYEE STAMP:</p>	<p>DOB PAGE NO: 3 OF 33</p>	<p>DOB B-SCAN:</p>

OCCUPANT LOADS SUMMARY SUBCELLAR 1 FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	90 SF		** 266
STORAGE	S-1	5,210 SF	300 SF	** 18
KITCHEN	A-2	4,687 SF	200 SF	** 24
STORAGE	S-1	2,987 SF	300 SF	** 10
ASSEMBLY	A-2	2,095 SF	15 SF	** 140
ASSEMBLY	A-2	1,684 SF	15 SF	** 113
STORAGE	S-1	263 SF	300 SF	1
Grand Total				572

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (600)	STAIR LOAD TOTAL (572)
STAIR - G	60"	0.3	200	** 191
STAIR - H	60"	0.3	200	** 191
STAIR - J	60"	0.3	200	** 190

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (600)	DOOR LOAD TOTAL (572)
STAIR - G - DOOR	40"	0.2	200	** 191
STAIR - H - DOOR	40"	0.2	200	** 191
STAIR - J - DOOR	40"	0.2	200	** 190

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.93"	29	55.45"
STAIR - H	11"	6.93"	31	55.48"
STAIR - J	11"	6.93"	29	55.45"

SUB CELLAR 1 PLUMBING FIXTURES - PER PC TABLE 403.1									
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS (565)		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS	PROVIDED LAVATORIES
		M50%	F50%	M	F	M	F		
ASSEMBLY	A-2	127	127	2	2	1.27		M	F
RETAIL	M	133	133	0.53	0.35				
OCCUPANCY S-1	S-1	15	15	0.29	0.29			5**	5**
KITCHEN	A-2	12	12	1	1				

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
 DRINKING FOUNTAINS (1 PER 1000 P.): 1 REQUIRED, 1 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'
ACCESSORY TO R-1 (BC TABLE 1024.7)			
S-1	200'	100'	20'

** NOTE:
EGRESS CALCULATIONS FOR RETAIL TO BE FILED UNDER SEPARATE APPLICATION

EGRESS AND FIRE RATING LEGEND

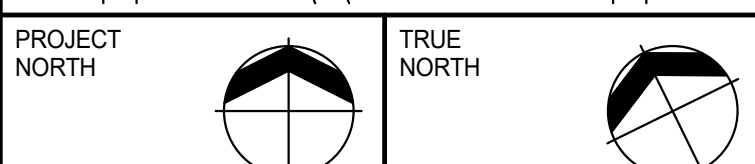
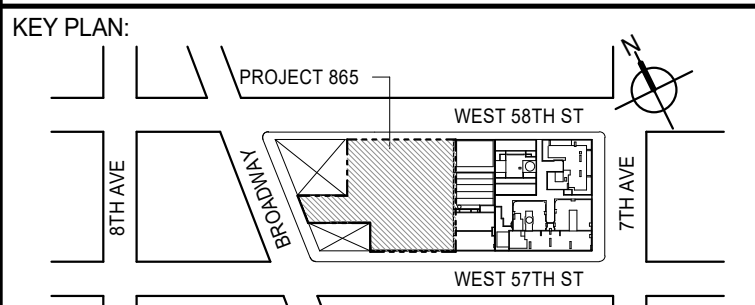
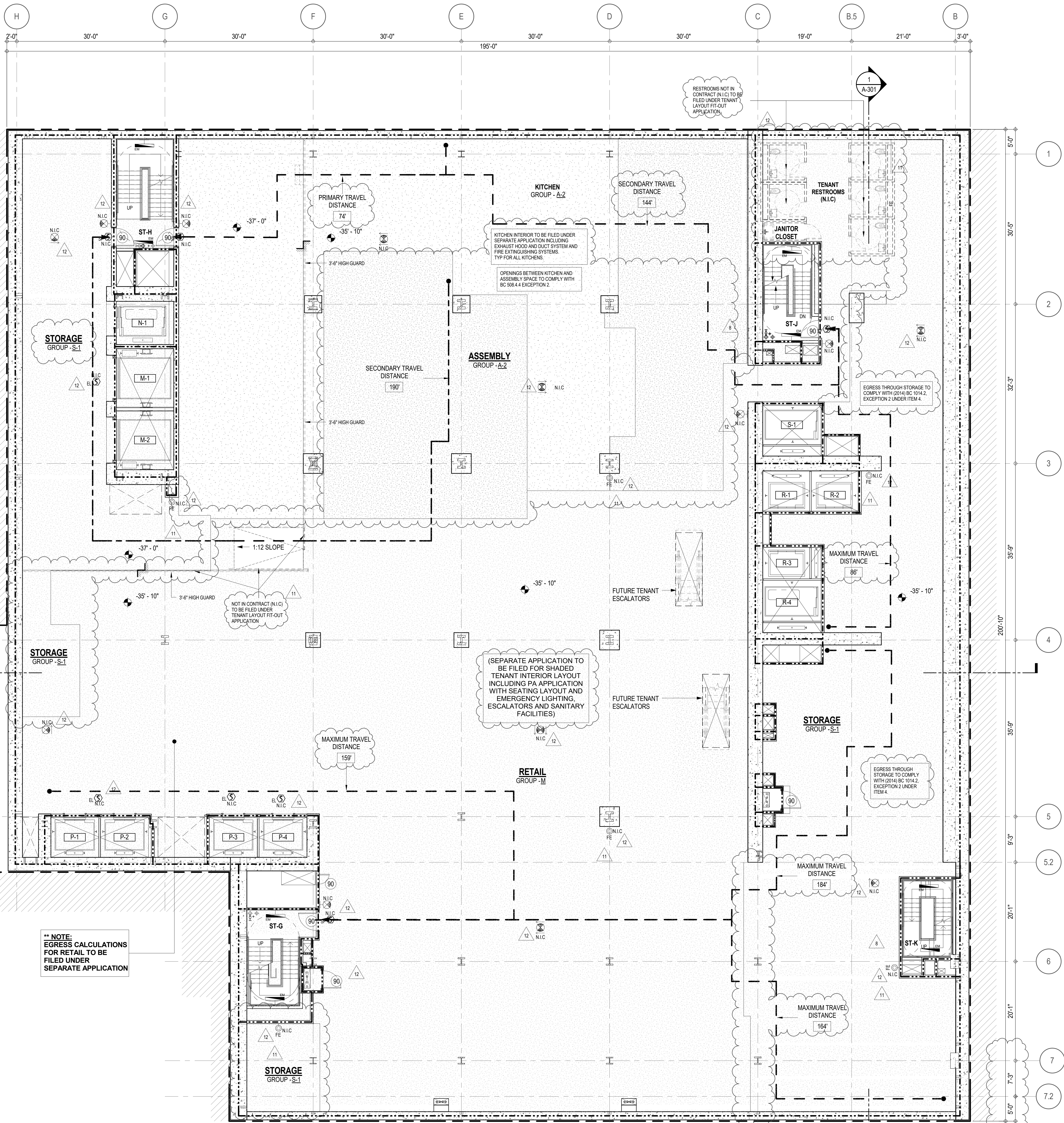
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	WALL MOUNTED ILLUMINATED NO EXIT SIGN
☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
☼	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	ILLUMINATED NO EXIT SIGN
☼	ILLUMINATED EXIT SIGN	☒	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)

☼	FEC FIRE EXTINGUISHER CABINET
☼	SPRINKLER HEAD (REFER TO FP DRAWINGS)
☼	STANDPIPE
☼	SPRINKLER RISER
☼	SIAMESE CONNECTION

☼	SMOKE DETECTOR
☼	SMOKE / CARBON MONOXIDE DETECTOR
☼	CEILING MOUNTED EMERGENCY LIGHT
☼	WALL MOUNTED EMERGENCY LIGHT
☼	DOOR RATING (MINUTES)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotter Architecture and Design Studio, PLLC
 228 FIFTH AVE, 7th Floor
 NEW YORK, NY 10001
 TEL: 646 989 7000 FAX: 646 989 7150

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJI ARCHITECTS, P.C.
 401 WELLINGTON ST. W., 3rd Floor
 TORONTO, ON M5V 1E7 CANADA
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
 228 EAST 45th STREET
 NEW YORK, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 NEW YORK, NY 10008 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 360 West 51st Street, 8th Floor
 NEW YORK, NY 10001-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 NEW YORK, NY 10007
 TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 826
 NEW YORK, NY 10013
 TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 NEW YORK, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
 ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
SUB CELLAR 1 FLOOR PLAN

SEAL & SIGNATURE:	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 12
DWG No: A-033.02	DOB PAGE No: 6 OF 53
DOB EMPLOYEE STAMP:	DOB S-SCAN:

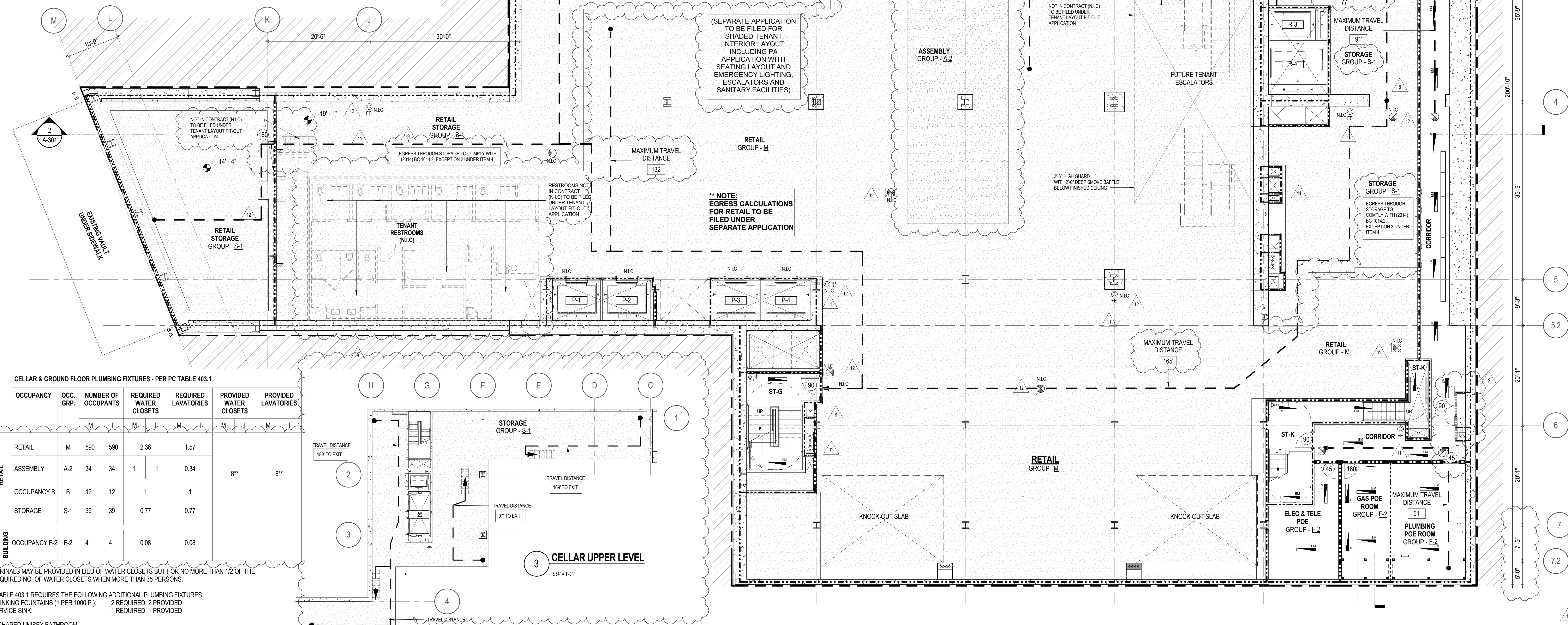
OCCUPANT LOADS SUMMARY CELLAR FLOOR PLAN				
OCCUPANT LOADS	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	1,006 SF	15 SF	** 68
AC ROOM	F-2	189 SF	300 SF	** 1
ELEC & TELE POE	F-2	248 SF	300 SF	** 1
GAS POE ROOM	F-2	222 SF	300 SF	** 1
PLUMBING POE ROOM	F-2	344 SF	300 SF	** 2
TELECOM POE & MAIN EQUIPMENT ROOM	F-2	263 SF	300 SF	** 1
WATER POE & FIRE PUMP ROOM	F-2	536 SF	300 SF	** 2
RETAIL	M	20,455 SF	60 SF	** 341
STORAGE - RETAIL	S-4	9,870 SF	306 SF	** 33
STORAGE - RETAIL	S-1	260 SF	300 SF	** 1
STORAGE - RETAIL	S-1	1,614 SF	300 SF	** 6
Grand total				** 457

OCCUPANT LOADS SUMMARY UPPER CELLAR FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
STORAGE	S-1	7,234 SF	300 SF	25
Grand total				25

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (457)
STAIR - G	60"	0.3	200	** 145
STAIR - H	60"	0.3	200	** 145
STAIR - J	60"	0.3	200	** 146
STAIR - K	44"	0.3	146	** 21

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (770)	TOTAL (457)
STAIR - G - DOOR	40"	0.2	200	145
STAIR - H - DOOR	40"	0.2	200	145
STAIR - J - DOOR	40"	0.2	200	146
STAIR - K - DOOR	34"	0.2	170	21

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.87"	31	116.81"
STAIR - H	11"	6.93"	35	97.19"
STAIR - J	11"	6.81"	37	129.94"
STAIR - K	11"	6.93"	33	111.00"



CELLAR & GROUND FLOOR PLUMBING FIXTURES - PER PC TABLE 403.1										
	OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS	PROVIDED LAVATORIES
			M	F	M	F	M	F		
RETAIL	RETAIL	M	590	590	2.36		1.57		8**	8**
	ASSEMBLY	A-2	34	34	1	1	0.34			
	OCCUPANCY B	B	12	12	1		1			
	STORAGE	S-1	39	39	0.77		0.77			
BUILDING	OCCUPANCY F-2	F-2	4	4	0.08		0.08			



* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.




* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES
 DRINKING FOUNTAINS (1 PER 1000 P.): 2 REQUIRED, 2 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM



















LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
S-2	250'	100'	20'
F-2	250'	100'	50'
A-2	150' (PRIMARY) / 250' SECONDARY	75'	20'
ACCESSORY TO R-1 (BC TABLE 1024.7)			


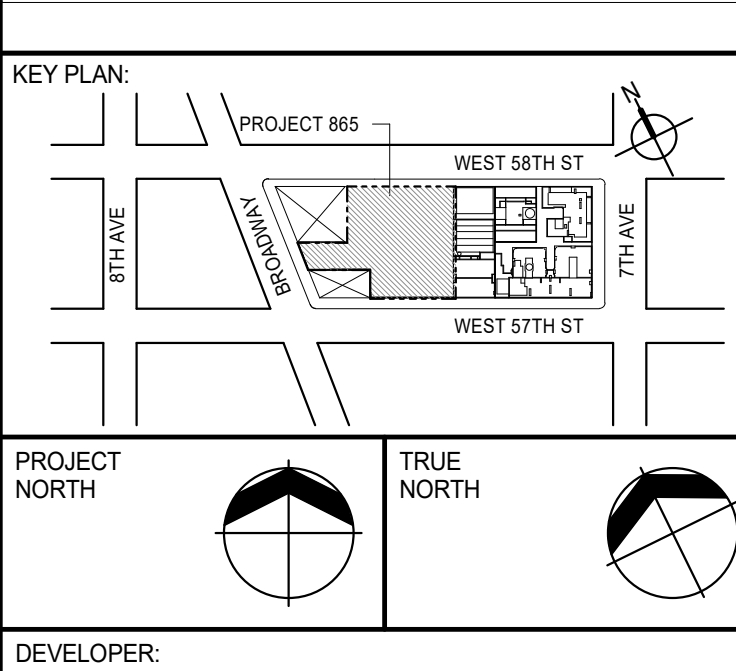




EGRESS AND FIRE RATING LEGEND

 ONE HOUR RATED PARTITION
 TWO HOUR RATED PARTITION
 THREE HOUR RATED PARTITION
 FOUR HOUR RATED PARTITION
 NON RATED SMOKE SEPARATION

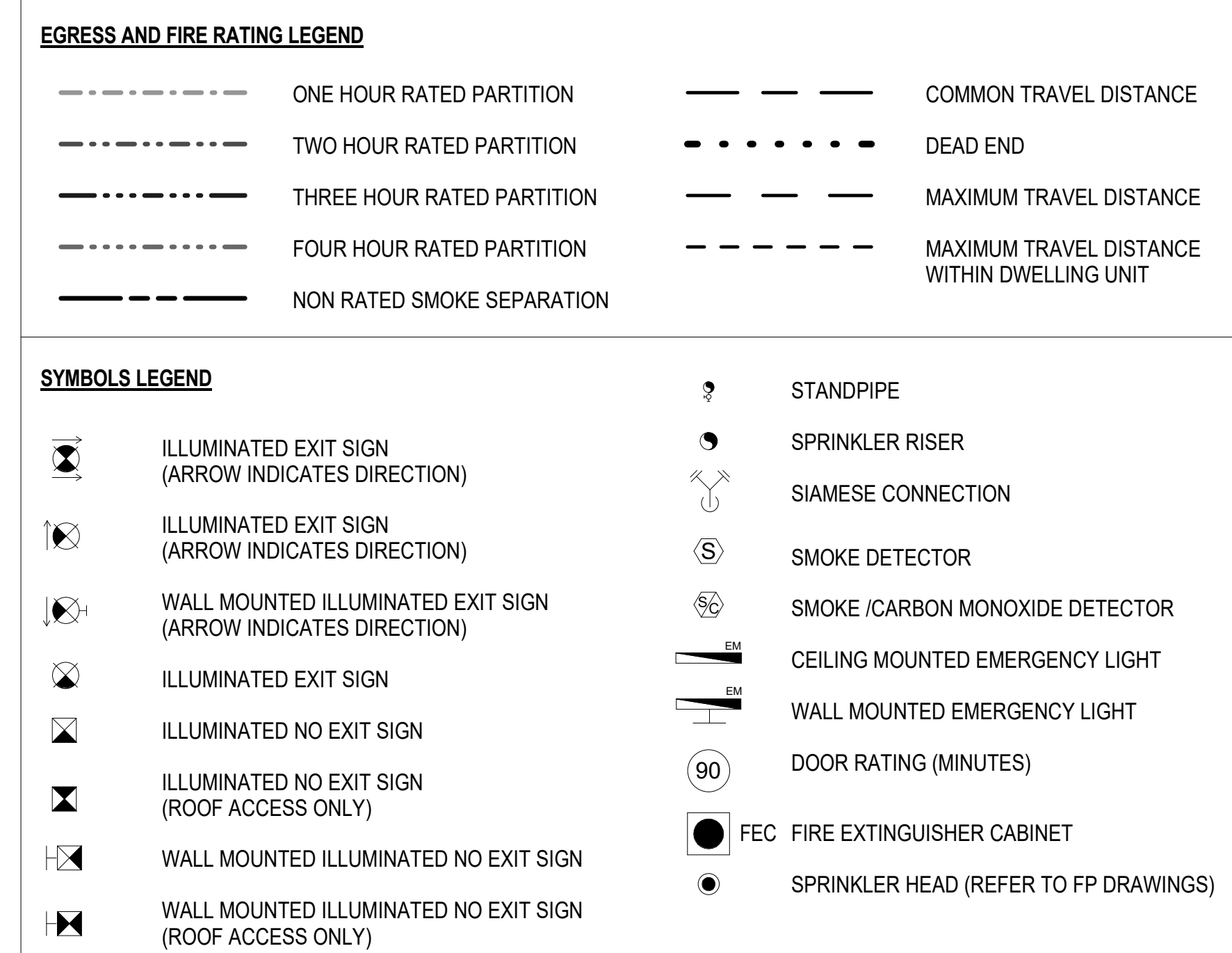
	COMMON TRAVEL DISTANCE
	DEAD END
	MAXIMUM TRAVEL DISTANCE
	MAXIMUM TRAVEL DISTANCE

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN		FEC FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER HEAD (REFER TO FP DRAWINGS)		SMOKE /CARBON MONOXIDE DETECTOR
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		ILLUMINATED NO EXIT SIGN		STANDPIPE		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER RISER		WALL MOUNTED EMERGENCY LIGHT
					SIAMESE CONNECTION		DOOR RATING (MINUTES)

<div style="text-align: center;"> N</div>					
KEY PLAN: 					
PROJECT NORTH 		TRUE NORTH 			
DEVELOPER: EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR New York, NY 10022 USA TEL: 212 712-6000 FAX: 212 712-6100					
DESIGN ARCHITECT: <i>Boris Building Shell & Core*</i> ADRIAN SMITH + GORDON GILL ARCHITECTURE 11 WEST MONROE STREET SUITE 2300 CHICAGO IL 60603 TEL: 312 520 1880 FAX: 312 822 1775					
INTERIOR DESIGNER: <i>Residential</i> Rotter Architecture and Design Studio, PLLC 268 Fifth Ave., 7th Floor New York, NY 10001 TEL: 646 885 7002 FAX:					
ARCHITECT OF RECORD: <i>Basis Building Shell, Core, & Residential</i> AAI Architects, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150					
STRUCTURAL ENGINEERS: WSP CANTOR SEINIK 220 EAST 43rd Street New York, NY 10017 USA TEL: 212 697 9888 FAX: 646 487 5501					
MEP ENGINEERS: AKF GROUP 195 Broadway, 22nd Floor New York, NY 10008 USA TEL: 212 354 5656 FAX: 212 354 5668					
GEOTECHNICAL ENGINEERS: Lynn Engineering & Environmental Services 21 Penn Plaza - 350 West 31st Street, 8th Floor New York, NY 10001-2727 TEL: 212 385 1919 FAX: 212 479 5444					
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 757 5659 FAX: 646 219 8508					
CURTAINWALL CONSULTANT: AJLP Consulting 40 Worth Street, Suite 828 New York, NY 10013 TEL: 212 757 5659 FAX: 646 219 8508					
LANDMARK/PRESERVATION CONSULTANT: Jani Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 729 6462 FAX: 212 759 6504					
No.	DESCRIPTION	DATE			
1	C.D PROGRESS ISSUE 1	15 OCT 14			
2	D.O.B. SUBMISSION	05 DEC 14			
3	C.D PROGRESS ISSUE 2	19 DEC 14			
4	D.O.B. SUBMISSION	18 FEB 15			
5	C.D PROGRESS ISSUE 3	09 MAR 15			
6	D.O.B. SUBMISSION	27 APR 15			
7	C.D PROGRESS ISSUE 4	01 JUN 15			
8	C.D PROGRESS ISSUE 5	10 AUG 15			
9	D.O.B. AMENDMENT 1	21 SEP 15			
10	C.D PROGRESS ISSUE 6	02 NOV 15			
11	CMU DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16			
12	C.D PROGRESS ISSUE 7	29 JAN 16			
13	C.D ISSUE 8 - GMP SET	31 MAR 16			
14	D.O.B. AMENDMENT 2	21 SEP 15			
15	C.D BULLETIN ISSUE - U.S.A	26 AUG 16			
16	D.O.B. AMENDMENT 4	12 DEC 17			
<div style="text-align: center;">0' 4'-0" 8'-0" 16'-0"</div> <div style="text-align: center;">D.O.B. SUBMISSION</div> <p>Discrepancies must be corrected immediately to the Architect before proceeding. Only Signed dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p> <div style="text-align: center;">ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</div> <p>CONSULTANT:</p> <div style="text-align: center;"> AAI ARCHITECTS, P.C.</div> <p>PROJECT:</p> <div style="text-align: center;">217 WEST 57TH STREET NEW YORK, NY</div> <p>DRAWING TITLE:</p> <div style="text-align: center;">CELLAR FLOOR PLAN</div> <div style="display: flex; justify-content: space-between;"><div>SEAL & SIGNATURE: </div><div>DATE: 15 OCT 14 PROJECT NO.: 1216-00 DRAWN: Author CHKD: Checker SCALE: As indicated DWG NO.: A-034.02 DOBB PAGE NO.: 7 OF 30</div><div>DOB B-SCAN:</div></div> <p>DOB EMPLOYEE STAMP:</p>					

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
S-1	200'	100'	20'
B	300'	100'	50'

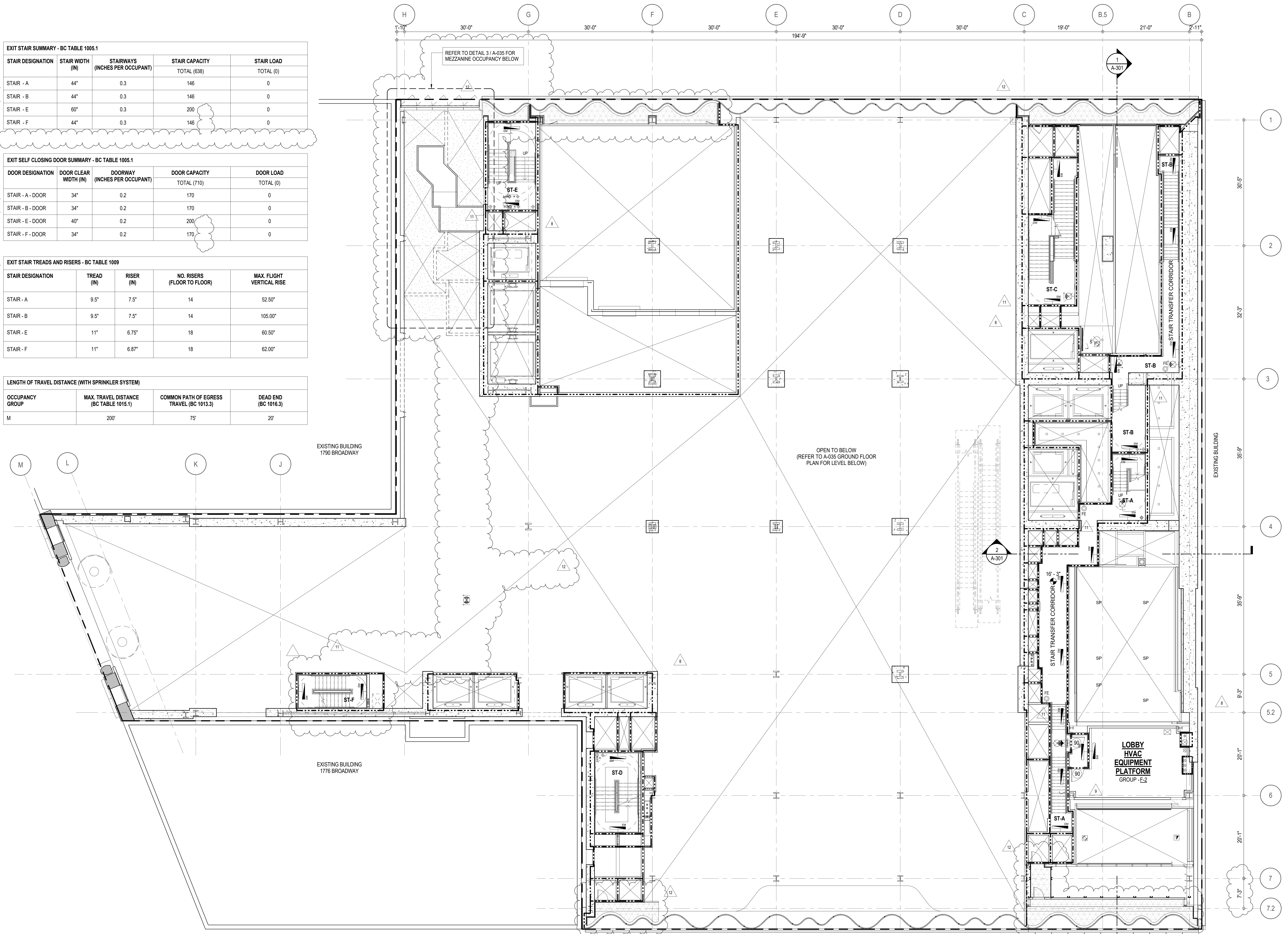







GROUND FLOOR RESIDENTIAL LOBBY PLUMBING FIXTURES - PER PC TABLE 403.1						
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS	REQUIRED WATER CLOSETS	REQUIRED LAVATORIES	PROVIDED WATER CLOSETS	PROVIDED LAVATORIES
		M / F	M / F	M / F	M / F	M / F
RES. MAIN LOBBY	B	8 / 8				
58TH ST. RES. LOBBY	B	2 / 2				
SERVICE ELEVATOR LOBBY	B	2 / 2				
ASSEMBLY (TOTALS)	B	24	1**	1**	1**	1**

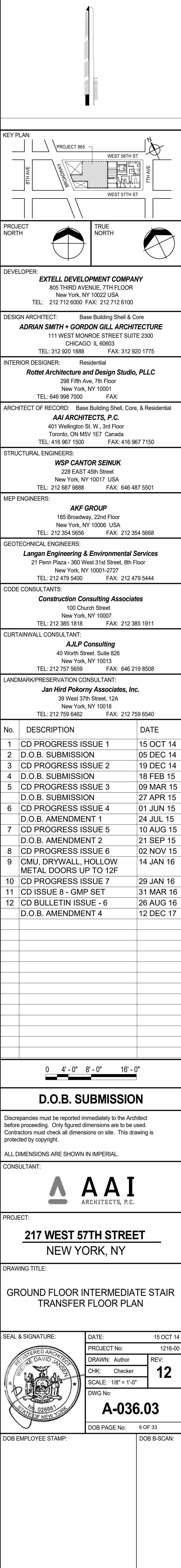
(SEPARATE APPLICATION TO BE FILED FOR SHADED TENANT INTERIOR LAYOUT INCLUDING PA APPLICATION WITH SEATING LAYOUT AND EMERGENCY LIGHTING, ESCALATORS AND SANITARY FACILITIES)

KEY PLAN: 		
PROJECT NORTH 	TRUE NORTH 	
DEVELOPER: EXTELLE DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR NEW YORK, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100		
DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO IL 60603 TEL: 312 820 1888 FAX: 312 920 1775		
INTERIOR DESIGNER: Residential Rotter Architecture and Design Studio, PLLC 28 Fifth Ave., 7th Floor New York, NY 10001 TEL: 846 988 7000 FAX:		
ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AAI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 1750		
STRUCTURAL ENGINEERS: HSP CANTOR SEINUK 226 East 45th Street New York, NY 10017 USA TEL: 212 387 8888 FAX: 646 487 5501		
MEP ENGINEERS: AKF GROUP 165 Broadway, 22nd Floor New York, NY 10006 USA TEL: 212 354 5556 FAX: 212 354 5666		
GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Penn Plaza - 350 West 31st Street, 8th Floor New York, NY 10001-2277 TEL: 212 479 5400 FAX: 212 478 5444		
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911		
CURTAINWALL CONSULTANT: AJLP Consulting 40 Worth Street, Suite 520 New York, NY 10013 TEL: 212 707 5659 FAX: 646 249 1858		
LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6862 FAX: 212 759 6540		
No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 1	24 JUL 15
9	CD PROGRESS ISSUE 5	10 AUG 15
10	D.O.B. AMENDMENT 2	21 SEP 15
11	CD PROGRESS ISSUE 6	02 NOV 15
12	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
13	CD PROGRESS ISSUE 7	29 JAN 16
14	CD ISSUE 8 - GMP SET	31 MAR 16
15	CD BULLETIN ISSUE - 1	22 APR 16
16	CD BULLETIN ISSUE - 6	26 AUG 16
17	D.O.B. AMENDMENT 4	12 DEC 17
D.O.B. SUBMISSION		
Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.		
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.		
CONSULTANT: <div style="display: flex; align-items: center; justify-content: center;"> <div> <p style="font-size: 2em; font-weight: bold; margin: 0;">AAI</p> <p style="margin: 0;">ARCHITECTS, P.C.</p> </div> </div>		
PROJECT: <div style="text-align: center; font-weight: bold; font-size: 1.2em;"> 217 WEST 57TH STREET NEW YORK, NY </div>		
DRAWING TITLE: <div style="text-align: center; font-weight: bold; font-size: 1.2em; margin-top: 10px;">GROUND FLOOR PLAN</div>		
SEAL & SIGNATURE: <div style="clear: both;"></div>	DATE: 15 OCT 14 PROJECT NO: 1216-00 DRAWN BY: Author CHECKED BY: [Signature] SCALE: As indicated DWG NO: <div style="text-align: center; font-weight: bold; font-size: 1.5em; margin-top: 10px;">A-035.04</div>	REV: <div style="text-align: center; font-weight: bold; font-size: 2em; margin-top: 10px;">13</div>
<div style="display: flex; justify-content: space-between;"> DOB EMPLOYEE STAMP: DOB PAGE NO: 8 OF 33 DOB 8-SCAN: </div>		

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'



	SMOKE DETECTOR
	SMOKE /CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)



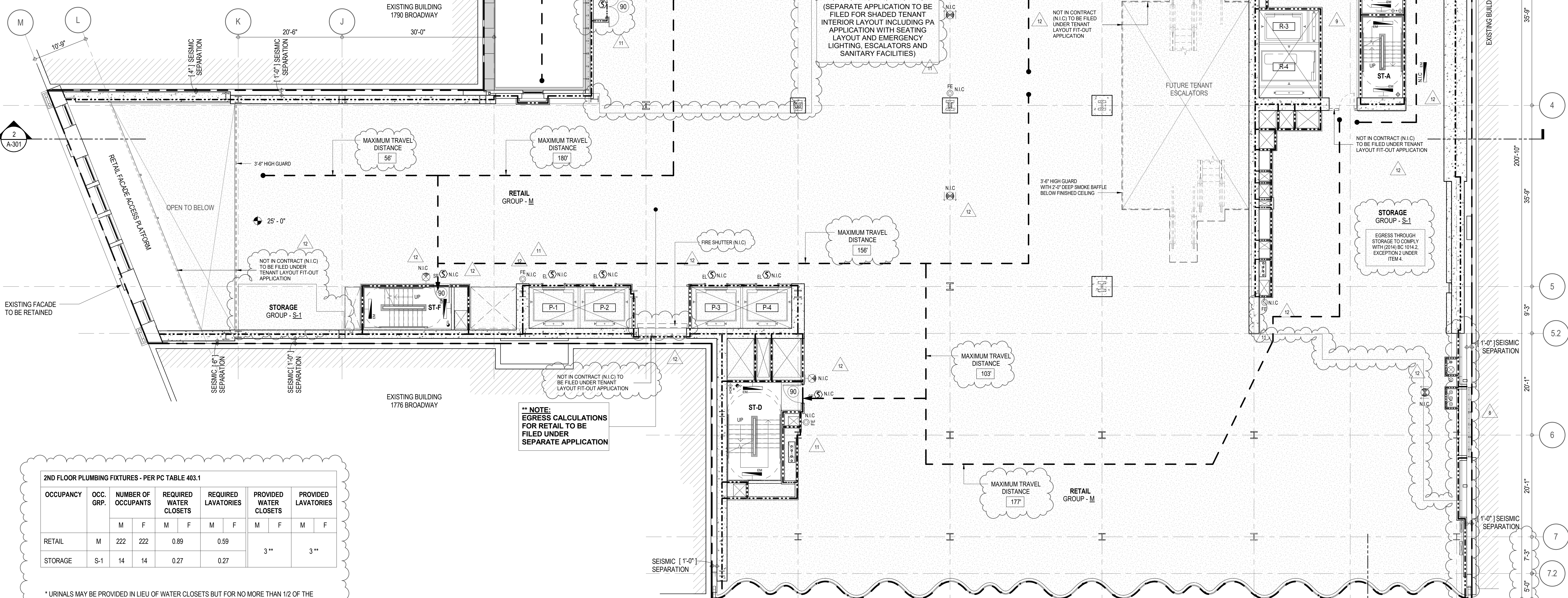
OCCUPANT LOADS SUMMARY 2ND FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	26,632 SF	60 SF	444
STORAGE	S-1	4,032 SF	300 SF	14
STORAGE	S-1	160 SF	300 SF	5
STORAGE	S-1	3,436 SF	300 SF	12
Grand total				471

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (471)
STAIR - C	60"	0.3	200	142
STAIR - D	60"	0.3	200	142
STAIR - E	60"	0.3	200	140
STAIR - F	44"	0.3	146	47

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (770)	DOOR LOAD TOTAL (471)
STAIR - C - DOOR	40"	0.2	200	142
STAIR - D - DOOR	40"	0.2	200	142
STAIR - E - DOOR	40"	0.2	200	140
STAIR - F - DOOR	34"	0.2	170	47

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	6.67"	40	144.87"
STAIR - D	11"	6.67"	46	123.69"
STAIR - E	11"	6.67"	42	60.50"
STAIR - F	11"	6.67"	18	62.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'



2ND FLOOR PLUMBING FIXTURES - PER PC TABLE 403.1							
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		PROVIDED WATER CLOSETS	
		M	F	M	F	M	F
RETAIL	M	222	222	0.89	0.59		
STORAGE	S-1	14	14	0.27	0.27	3	3

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P): 2 REQUIRED, 2 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

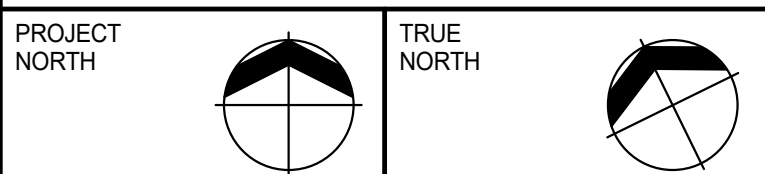
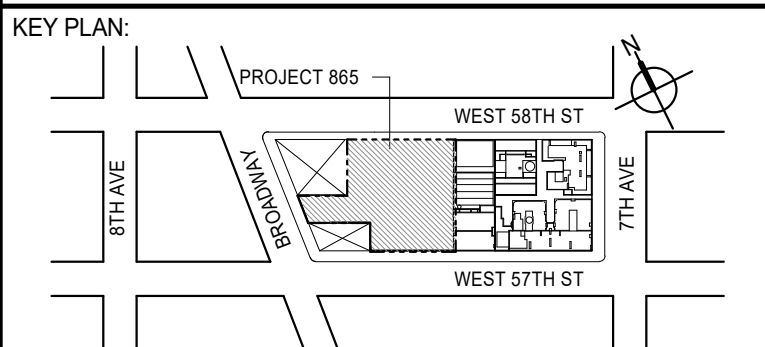
** SHARED UNISEX WASHROOM

EGRESS AND FIRE RATING LEGEND

ONE HOUR RATED PARTITION	COMMON TRAVEL DISTANCE
TWO HOUR RATED PARTITION	DEAD END
THREE HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
FOUR HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
NON RATED SMOKE SEPARATION	

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO PP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
228 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St W, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 350 West 51st Street, 8th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:

2ND FLOOR PLAN

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 12

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-037.02

DOB PAGE No: 10 OF 33

DOB EMPLOYEE STAMP: DOB 5-SCAN:

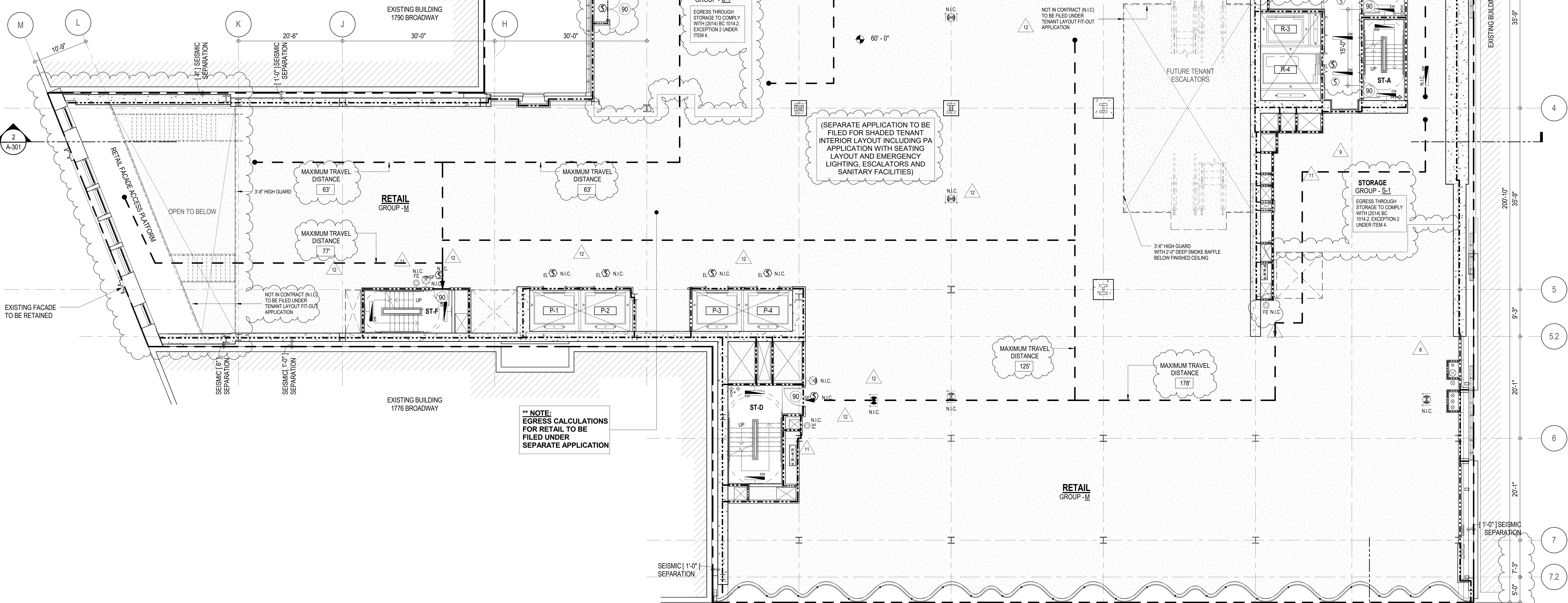
OCCUPANT LOADS SUMMARY 4TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	30,010 SF	60 SF	501
STORAGE	S-1	2,584 SF	300 SF	9
STORAGE	S-1	1,394 SF	300 SF	5
Grand total				515

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (515)
STAIR - C	60"	0.3	200	136
STAIR - D	60"	0.3	200	136
STAIR - E	60"	0.3	200	136
STAIR - F	44"	0.3	146	107

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1			
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (770)
STAIR - C - DOOR	40"	0.2	200
STAIR - D - DOOR	40"	0.2	200
STAIR - E - DOOR	40"	0.2	200
STAIR - F - DOOR	34"	0.2	170

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	7"	30	56.00"
STAIR - D	11"	7"	30	56.00"
STAIR - E	11"	7"	30	56.00"
STAIR - F	11"	7"	30	56.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
S-1	200'	100'	20'



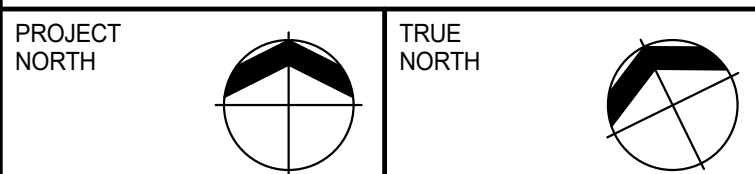
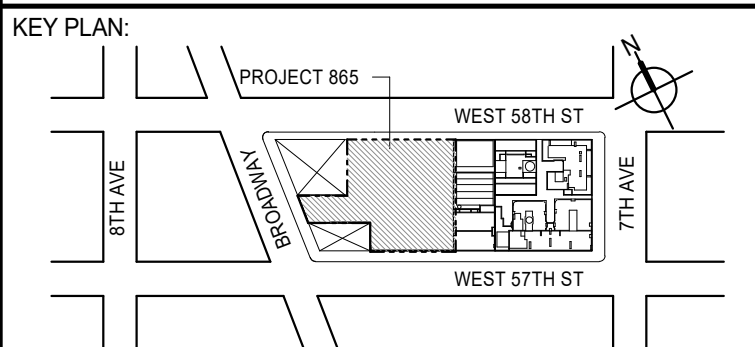
* RESTROOM FACILITIES ARE LOCATED ON 5TH FLOOR

EGRESS AND FIRE RATING LEGEND

ONE HOUR RATED PARTITION	COMMON TRAVEL DISTANCE
TWO HOUR RATED PARTITION	DEAD END
THREE HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
FOUR HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
NON RATED SMOKE SEPARATION	

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
228 East 45th Street
New York, NY 10017 USA
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **WSP CANTOR SEINUK**
228 East 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 360 West 21st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 6	26 AUG 16
	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **4TH FLOOR PLAN**

SEAL & SIGNATURE: **DAVID J. ANTONIO**

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-039.02**

DOB EMPLOYEE STAMP: **DOB PAGE No: 13 OF 33**

DOB 5-SCAN:

OCCUPANT LOADS SUMMARY 5TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	2,356 SF	15 SF	157
ASSEMBLY OUTDOOR	A-2	1,329 SF	15 SF	89
KITCHEN	A-2	1,443 SF	200 SF	7
RETAIL	M	23,665 SF	60 SF	394
STORAGE	S-1	2,009 SF	300 SF	7
STORAGE	S-1	1,588 SF	300 SF	5
Grand Total				659

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (659)
STAIR - C	60"	0.3	200	163
STAIR - D	60"	0.3	200	173
STAIR - E	60"	0.3	200	173
STAIR - F	44"	0.3	146	150

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (246)
STAIR - D5-A - DOOR	34"	0.2	170	123
STAIR - D5-B - DOOR	34"	0.2	170	123

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

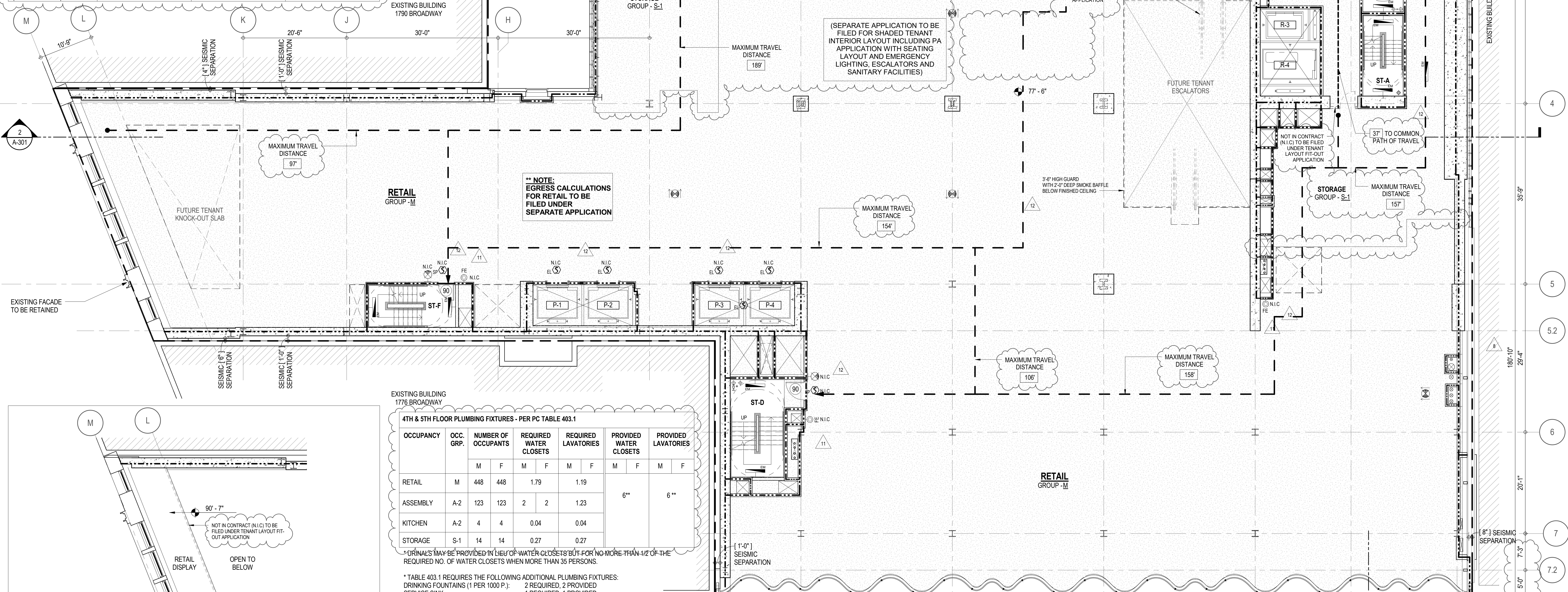
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (770)	DOOR LOAD TOTAL (659)
STAIR - C - DOOR	40"	0.2	200	163
STAIR - D - DOOR	40"	0.2	200	173
STAIR - E - DOOR	40"	0.2	200	173
STAIR - F - DOOR	34"	0.2	170	150

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	7"	30	70.00"
STAIR - D	11"	7"	30	56.00"
STAIR - E	11"	7"	30	56.00"
STAIR - F	11"	7"	30	56.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'
ACCESSORY TO R-1 (BC TABLE 1024.7)			



EXISTING BUILDING 1778 BROADWAY

4TH & 5TH FLOOR PLUMBING FIXTURES - PER PC TABLE 403.1

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M	F	M	F	M	F	M	F	M	F
RETAIL	M	448	448			1.79	1.19				
ASSEMBLY	A-2	123	123	2	2		1.23				
KITCHEN	A-2	4	4	0.04	0.04						
STORAGE	S-1	14	14	0.27	0.27						

* ORIGINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P.) 2 REQUIRED, 2 PROVIDED
SERVICE SINK 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX RESTROOM

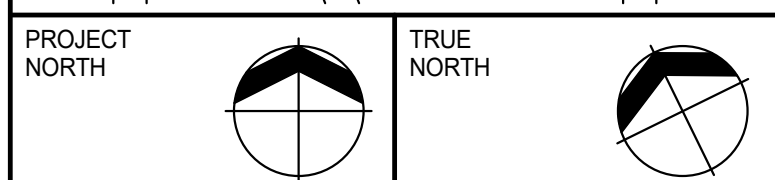
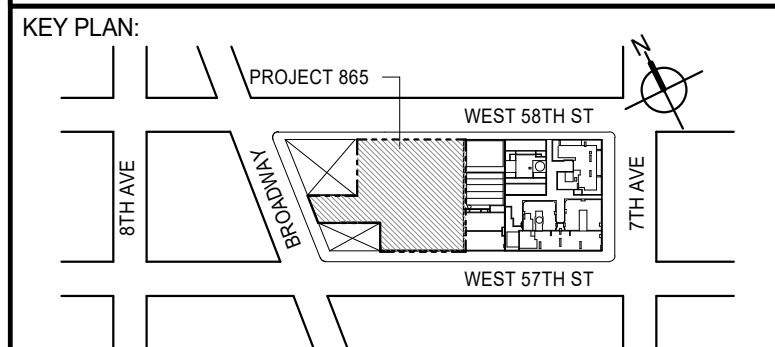
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

INTERMEDIATE 1780 FACADE ACCESS PLATFORM



DEVELOPER: **EXTEL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
228 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX: 646 989 7150

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5555 FAX: 212 354 5568

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 6	26 AUG 16
13	ASI ISSUE - 11	16 DEC 16
	D.O.B. AMENDMENT 4	12 DEC 17
14	NEXT ISSUE	Date 25

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE:

5TH FLOOR PLAN

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"






DWG No: **A-040.02**

DOB PAGE No: 13 OF 33

DOB 5-SCAN:

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	6.87"	34	96.34"
STAIR - D	11"	6.87"	34	61.94"
STAIR - E	11"	6.87"	34	61.94"
STAIR - F	11"	6.87"	34	68.81"

[illegible]

	SMOKE DETECTOR
	SMOKE /CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)



OCCUPANT LOADS SUMMARY 7TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
AC AND FAN ROOM	F-2	1,474 SF	300 SF	5
AC AND PUMP ROOM	F-2	1,647 SF	300 SF	6
AC ROOM	F-2	346 SF	300 SF	2
AC UNIT AND FAN ROOM	F-2	1,363 SF	300 SF	5
BOILER ROOM W/ PUMPS	F-2	1,849 SF	300 SF	7
CON ED VAULT	F-2	640 SF	300 SF	4
EMR	F-2	690 SF	300 SF	3
EMR AHU ROOM	F-2	381 SF	300 SF	2
FAN AND DW HEATER ROOM	F-2	414 SF	300 SF	2
FAN ROOM	F-2	472 SF	300 SF	2
GENERATOR ROOM	F-2	3,468 SF	300 SF	12
LS ELECTRICAL ROOM	F-2	336 SF	300 SF	2
NETWORK ROOM	F-2	565 SF	300 SF	4
OS/EM SWITCHGEAR ROOM	F-2	509 SF	300 SF	2
POOL EQUIPMENT ROOM	F-2	108 SF	300 SF	1
SWITCHBOARD ROOM	F-2	3,754 SF	300 SF	13
RECYCLING COLLECTION ROOM	S-1	361 SF	300 SF	2
REFUSE COLLECTION ROOM	S-1	397 SF	300 SF	2
TRASH COMPACTOR ROOM	S-1	242 SF	300 SF	1
Grand total				77

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (1038)	STAIR LOAD TOTAL (77)
STAIR - A	44"	0.3	146	12
STAIR - B	44"	0.3	146	12
STAIR - C	60"	0.3	200	14
STAIR - D	60"	0.3	200	14
STAIR - E	60"	0.3	200	15
STAIR - F	44"	0.3	146	10

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

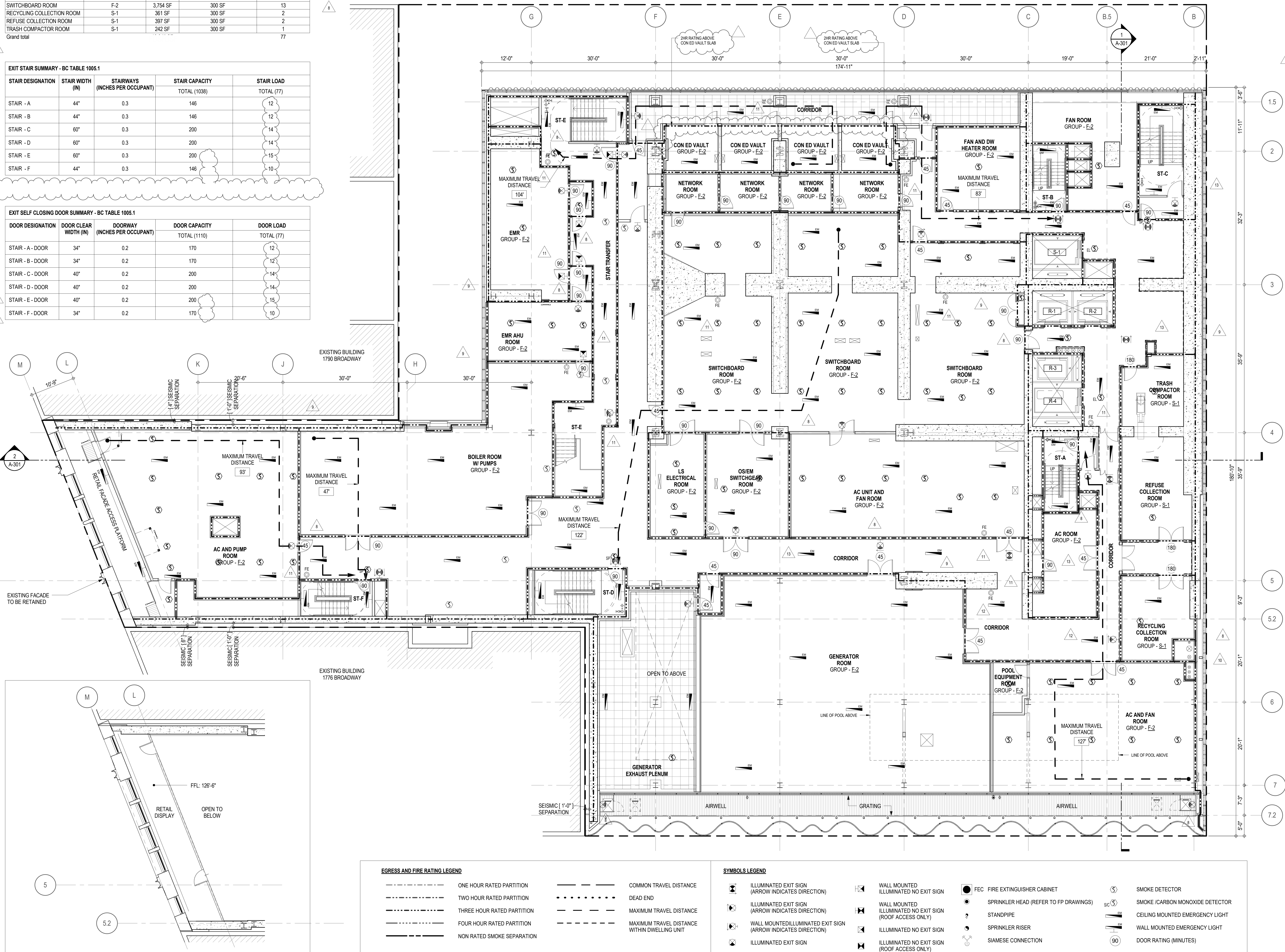
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (1110)	DOOR LOAD TOTAL (77)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	12
STAIR - C - DOOR	40"	0.2	200	14
STAIR - D - DOOR	40"	0.2	200	14
STAIR - E - DOOR	40"	0.2	200	15
STAIR - F - DOOR	34"	0.2	170	10

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.44"	34	66.69"
STAIR - B	9.5"	7.44"	34	66.69"
STAIR - C	11"	7"	36	84.00"
STAIR - D	11"	7"	36	63.00"
STAIR - E	11"	7"	36	70.00"
STAIR - F	11"	7"	36	70.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1015.3)	DEAD END (BC 1015.3)
F-2	250'	100'	50'



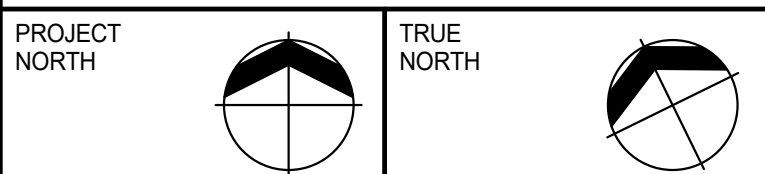
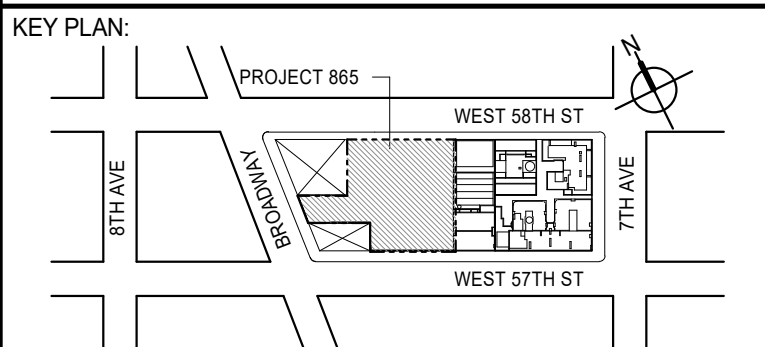
INTERMEDIATE 1780 FACADE ACCESS PLATFORM

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
- - -	TWO HOUR RATED PARTITION	- - -	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO PP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5555 FAX: 212 354 5568

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Park Plaza - 360 West 21st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 6181 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6555 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16
	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE:

7TH FLOOR PLAN

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHK: Checker
	SCALE: 1/8" = 1'-0"
DWG No:	REV: 13
	DOB PAGE No: 15 of 33
	A-042.03

DOB EMPLOYEE STAMP:

DOB S-SCAN:

OCCUPANT LOADS SUMMARY 8TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
LOUNGE	A-2	1,262 SF	15 SF	85*
RESIDENTIAL AMENITY POOL	A-2	1,050 SF	50 SF	21
RESIDENTIAL OUTDOOR AMENITY SPACE	A-2	8,367 SF	15 SF	558
SCREENING ROOM	A-2	1,311 SF	15 SF	88*
A-2				752

FACADE MAINTENANCE SPACE	F-2	282 SF	300 SF	1
STAFF BATHROOM	F-2	69 SF	300 SF	1*
F-2 (ACCESSORY SPACE)				2

CONFERENCE ROOM	R-2	253 SF	15 SF	17*
PANTRY	R-2	699 SF	200 SF	3*
TWEEN LOUNGE	R-2	411 SF	15 SF	28*
R-2				49
Grand total				802

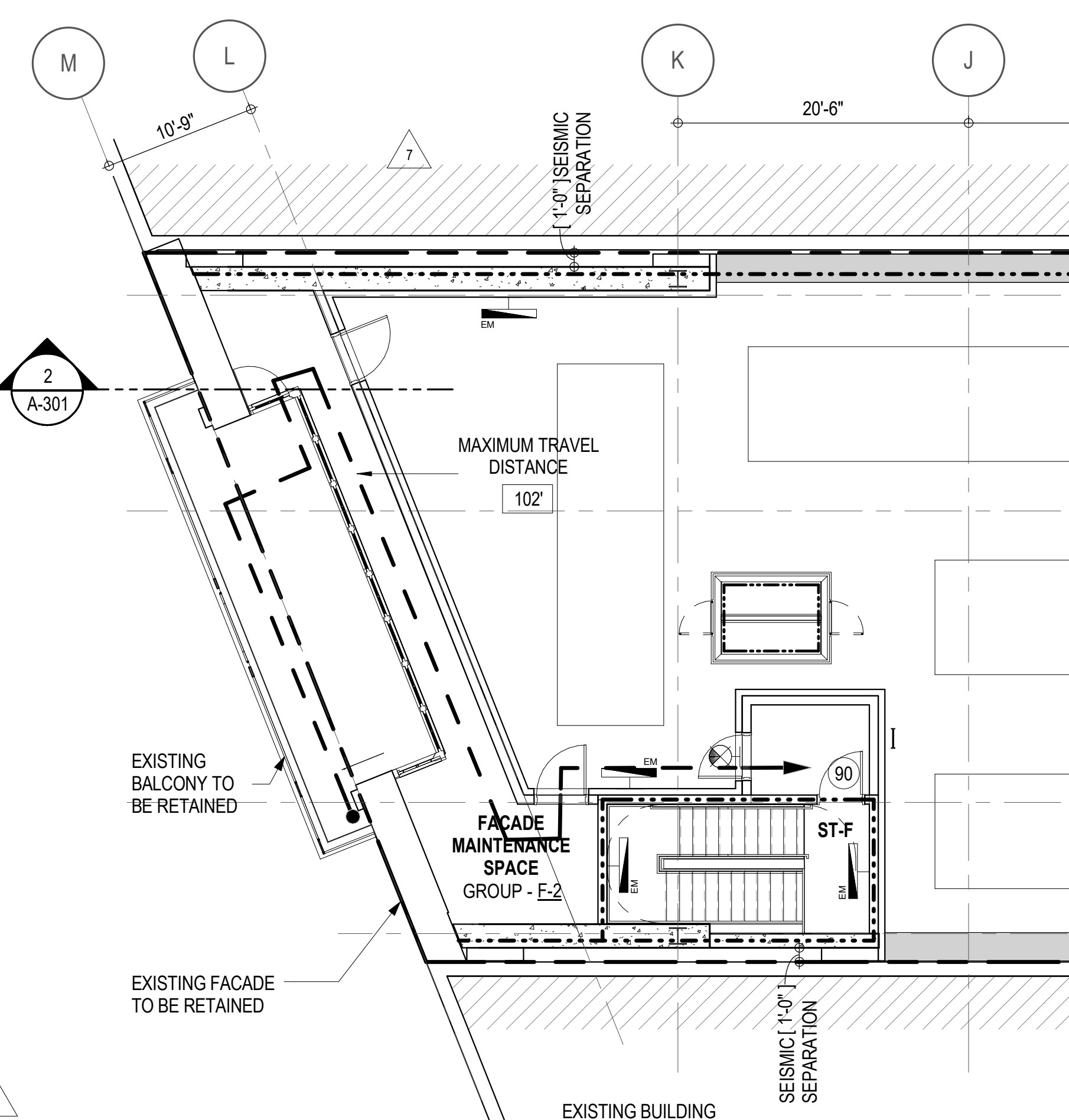
* INTERIOR SPACES: ONLY TO USE EXIT STAIRS A AND B. TOTAL INTERIOR OCCUPANT LOAD = 222

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (1038)	STAIR LOAD TOTAL (802)
STAIR - A	44"	0.3	146	111
STAIR - B	44"	0.3	146	111
STAIR - C	60"	0.3	200	193
STAIR - D	60"	0.3	200	193
STAIR - E	60"	0.3	200	193
STAIR - F	44"	0.3	146	111

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (1110)	DOOR LOAD TOTAL (802)
STAIR - A - DOOR	34"	0.2	170	111
STAIR - B - DOOR	34"	0.2	170	111
STAIR - C - DOOR	40"	0.2	200	193
STAIR - D - DOOR	40"	0.2	200	193
STAIR - E - DOOR	40"	0.2	200	193
STAIR - F - DOOR	34"	0.2	170	111



EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	33	76.69"
STAIR - B	9.5"	7.69"	33	76.69"
STAIR - C	11"	7"	36	126.00"
STAIR - D	11"	6.81"	37	81.73"
STAIR - E	11"	6.81"	37	68.11"
STAIR - F	11"	6.81"	37	73.33"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
S-2	250'	100'	20'
A-2	PRIMARY = 150'	SECONDARY = 250'	20'

PLUMBING FIXTURES - PER PC TABLE 403.1

(BASED ON NON-SIMULTANEOUS SEASONAL OUTDOOR OCCUPANCY)

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M50%	F50%	M	F	M	F	M	F	M	F
RESIDENTIAL OUTDOOR AMENITY SPACE	A-2	290	290	4	8	2	2				
LOUNGE / SCREENING RM.			<div>14</div>					6	10	3	4
	A-2	87	87	2	2	1	1				
ASSEMBLY	A-2 (TOTALS)			6	10	3	3	6	10	3	4
ACCESSORY	R-2	24	24	<div>14</div>	1	1	1	1		1	

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

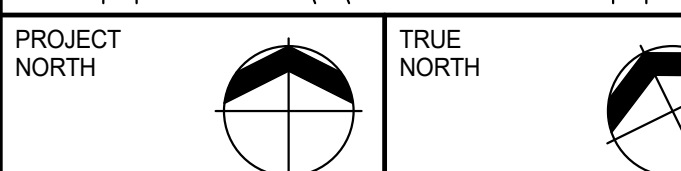
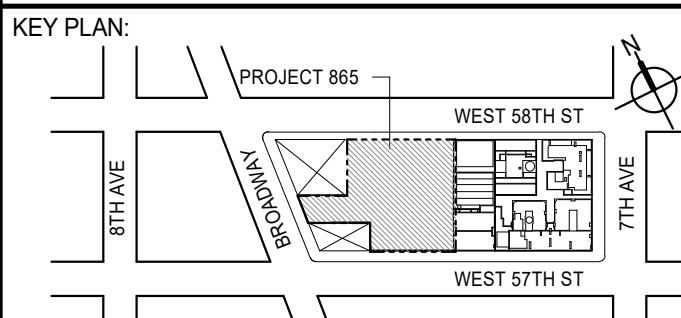
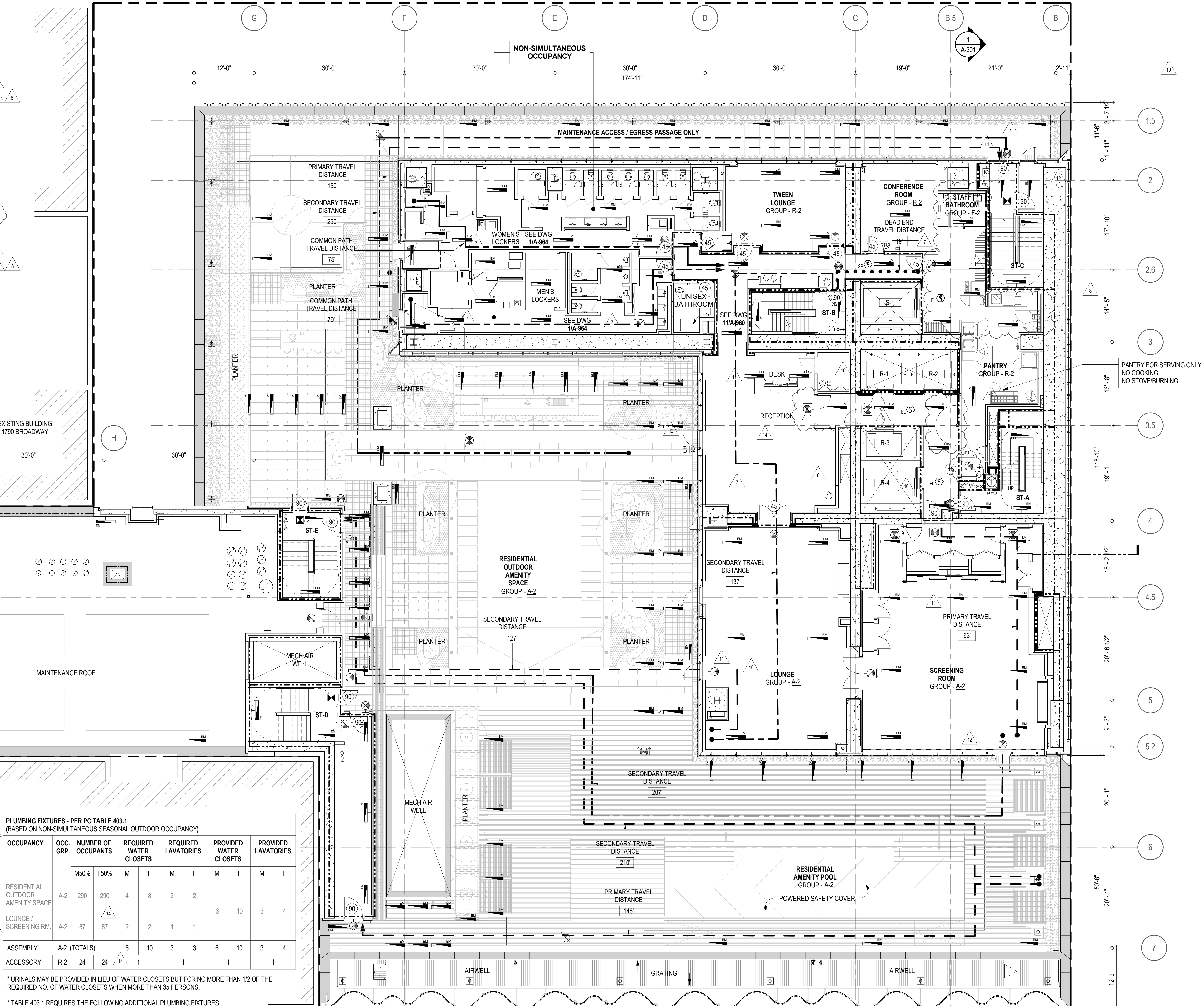
* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 500 P.): 2 REQUIRED, 2 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



DEVELOPER: EXTRELL DEVELOPMENT COMPANY

805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
228 FIFTH AVE, 7TH FLOOR
NEW YORK, NY 10001
TEL: 646 989 7000 FAX: 646 989 7000ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 WELLINGTON ST. W., 3RD FLOOR
TORONTO, ON M5V 1E7 CANADA
TEL: 416 967 1500 FAX: 416 967 7150STRUCTURAL ENGINEER: WSP CANTOR SEINUK
228 EAST 45TH STREET
NEW YORK, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501MEP ENGINEERS: AKF GROUP
165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10007
TEL: 212 354 5656 FAX: 212 354 5668GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services
21 PARK PLAZA - 3RD FLOOR, 21ST STREET, 9TH FLOOR
NEW YORK, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444CODE CONSULTANTS: Construction Consulting Associates
100 Church Street
NEW YORK, NY 10007
TEL: 212 385 6181 FAX: 212 385 1911CURTAINWALL CONSULTANT: A.J.P. Consulting
40 Worth Street, Suite 826
NEW YORK, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
NEW YORK, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No. DESCRIPTION DATE

1 CD PROGRESS ISSUE 1 15 OCT 14

2 D.O.B. SUBMISSION 05 DEC 14

3 CD PROGRESS ISSUE 2 19 DEC 14

4 D.O.B. SUBMISSION 18 FEB 15

5 CD PROGRESS ISSUE 3 09 MAR 15

6 D.O.B. SUBMISSION 27 APR 15

7 CD PROGRESS ISSUE 4 01 JUN 15

8 D.O.B. AMENDMENT 2 21 SEP 15

9 CD PROGRESS ISSUE 6 02 NOV 15

10 CMU DRYWALL, HOLLOW METAL DOORS UP TO 12F 14 JAN 16

11 CD PROGRESS ISSUE 7 29 JAN 16

12 CD ISSUE 8 - GMP SET 31 MAR 16

13 CD BULLETIN ISSUE - 1 22 APR 16

14 CD BULLETIN ISSUE - 2 11 MAY 16

15 D.O.B. AMENDMENT 3 03 OCT 16

16 ASI ISSUE - 11 16 DEC 16

17 CD BULLETIN ISSUE - 9 13 FEB 17

18 D.O.B. AMENDMENT 4 12 DEC 17

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

8TH FLOOR PLAN

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

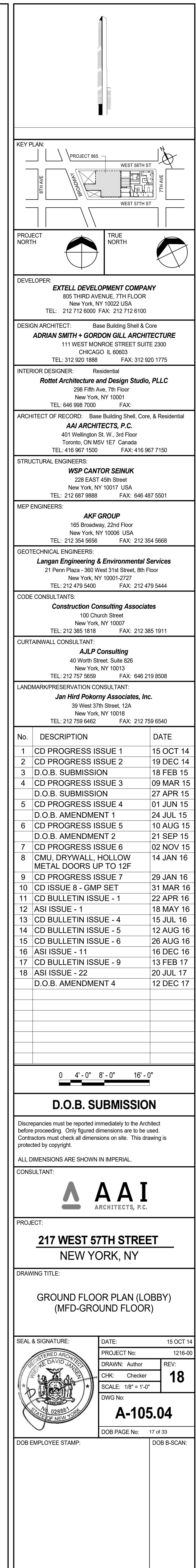
DWG No:

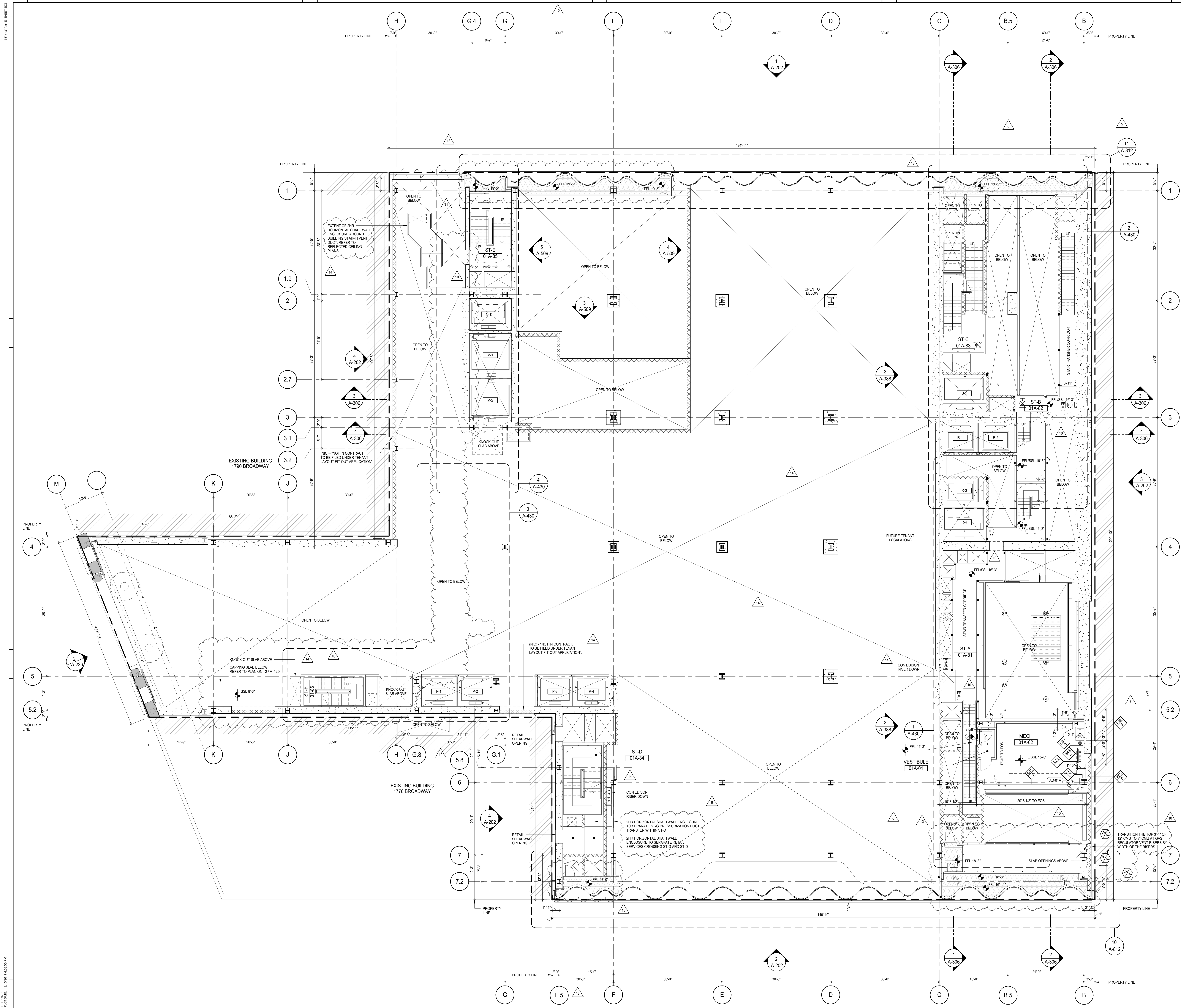
14

A-043.03

DOB PAGE No: 16 of 33

DOB 5-SAN:





KEY PLAN

PROJECT NORTH

DEVELOPER: ETELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 238 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 987 8885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10008 USA
 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 360 West 51st Street, 9th Floor
 New York, NY 10001-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1515 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 826
 New York, NY 10013
 TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 1	22 APR 16
14	ASI ISSUE - 1	18 MAY 16
15	CD BULLETIN ISSUE - 4	15 JUL 16
16	CD BULLETIN ISSUE - 6	26 AUG 16
17	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

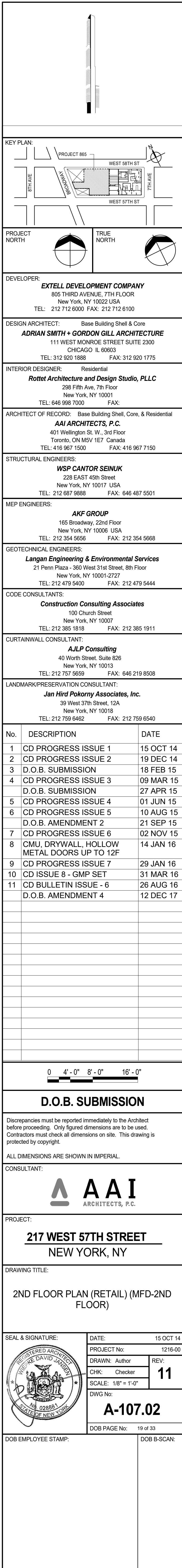
AAI
 ARCHITECTS, P.C.

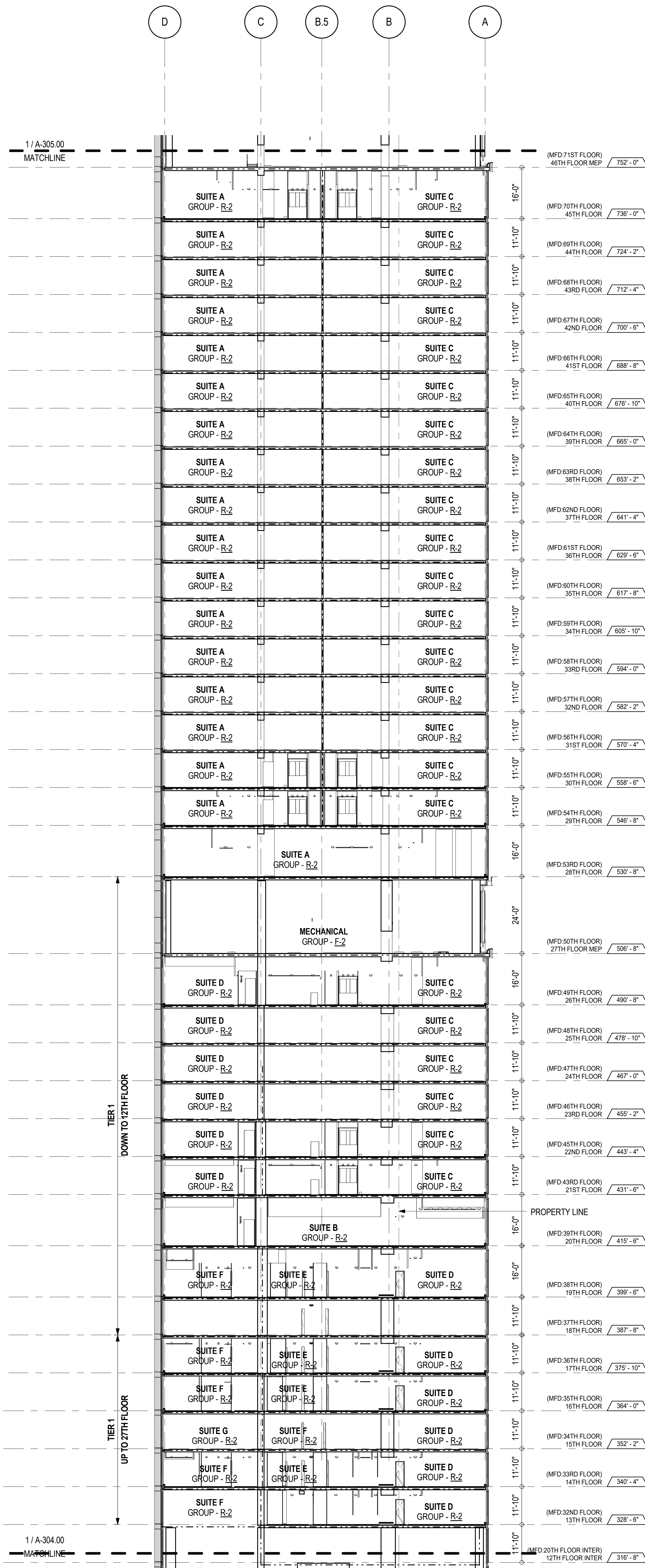
PROJECT: 217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE: GROUND FLOOR PLAN INTERMEDIATE
 (STAIR TRANSFER) (MFD-GROUND FLOOR INTERMEDIATE)

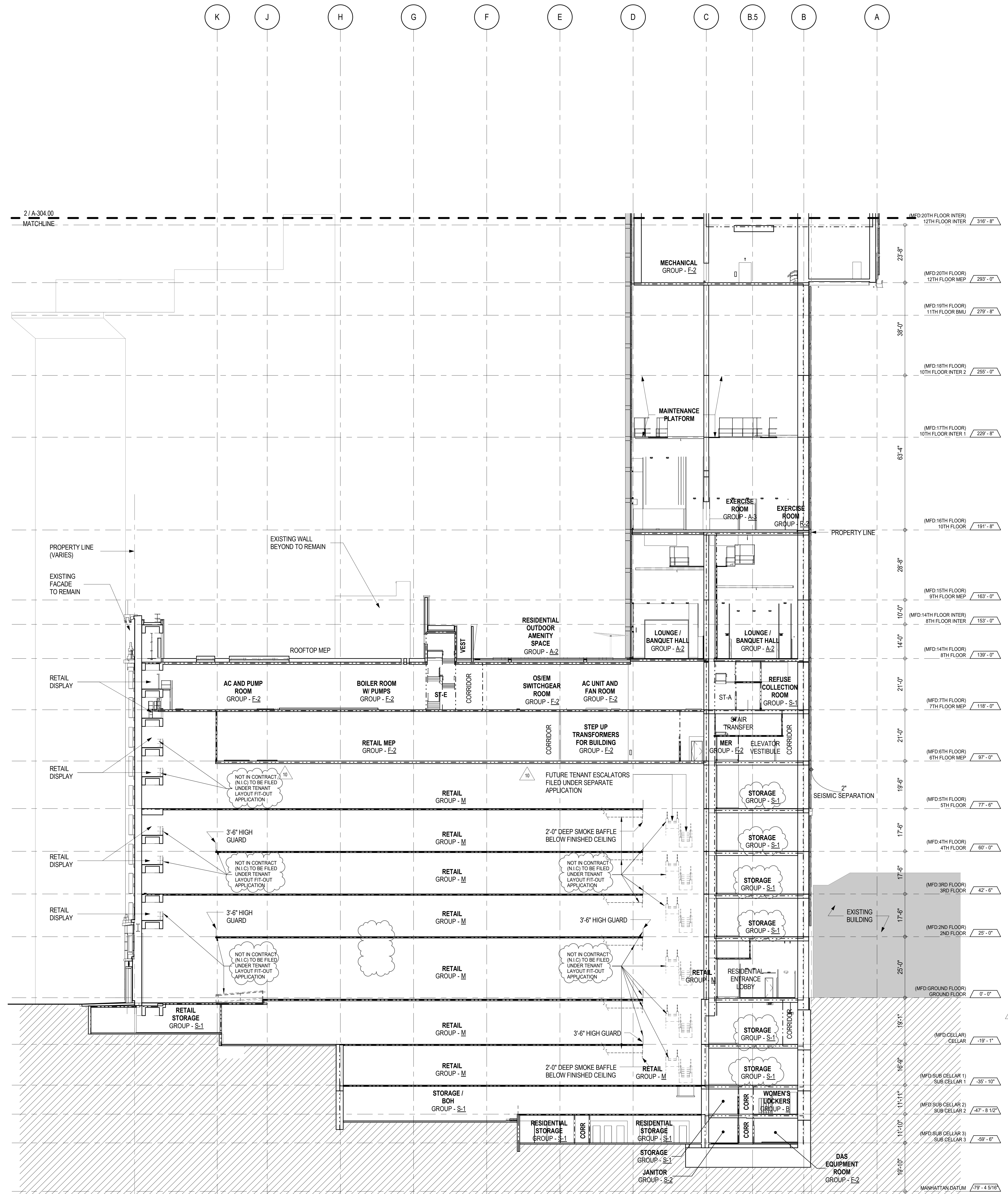
SEAL & SIGNATURE:

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/8" = 1'-0"
DWG No: A-106.03
DOB PAGE No: 18 of 33
DOB 5-SCAN:





3 EAST-WEST BUILDING SECTION - 12TH FLOOR TO 45TH FLOOR
A-301
1/8" = 1'-4"



1 EAST-WEST BUILDING SECTION - SUB CELLAR 3 TO 16TH FLOOR
A-301
1/8" = 1'-4"

KEY PLAN

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	05 DEC 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CMU DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16
15	CD BULLETIN ISSUE - 9	13 FEB 17
16	D.O.B. AMENDMENT 4	12 DEC 17
17	NEXT ISSUE	Date 25

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

EAST-WEST BUILDING SECTION

SEAL & SIGNATURE

DATE:

PROJECT No:

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-4"

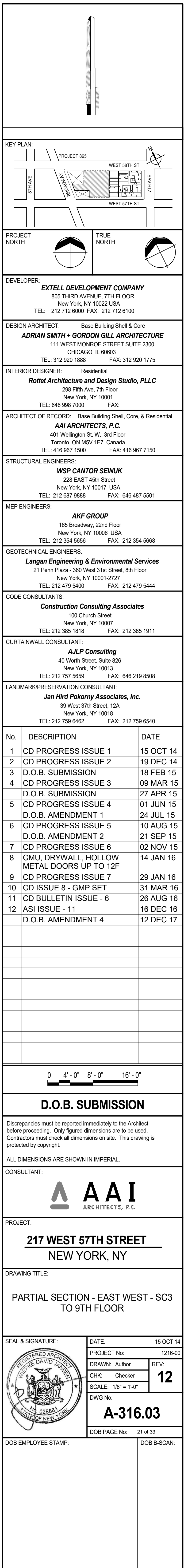
DWG No:

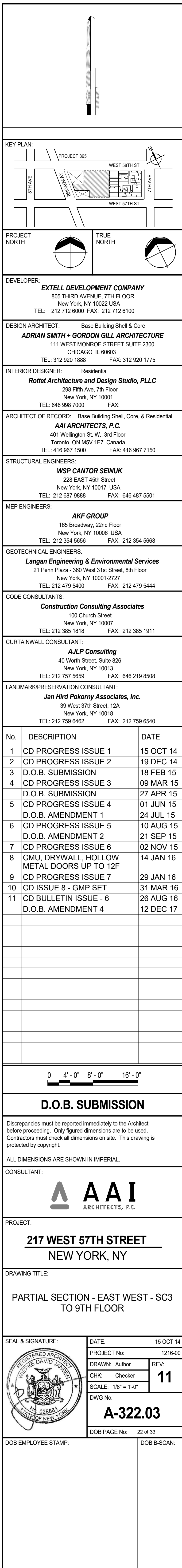
A-304.03

DOB EMPLOYEE STAMP:

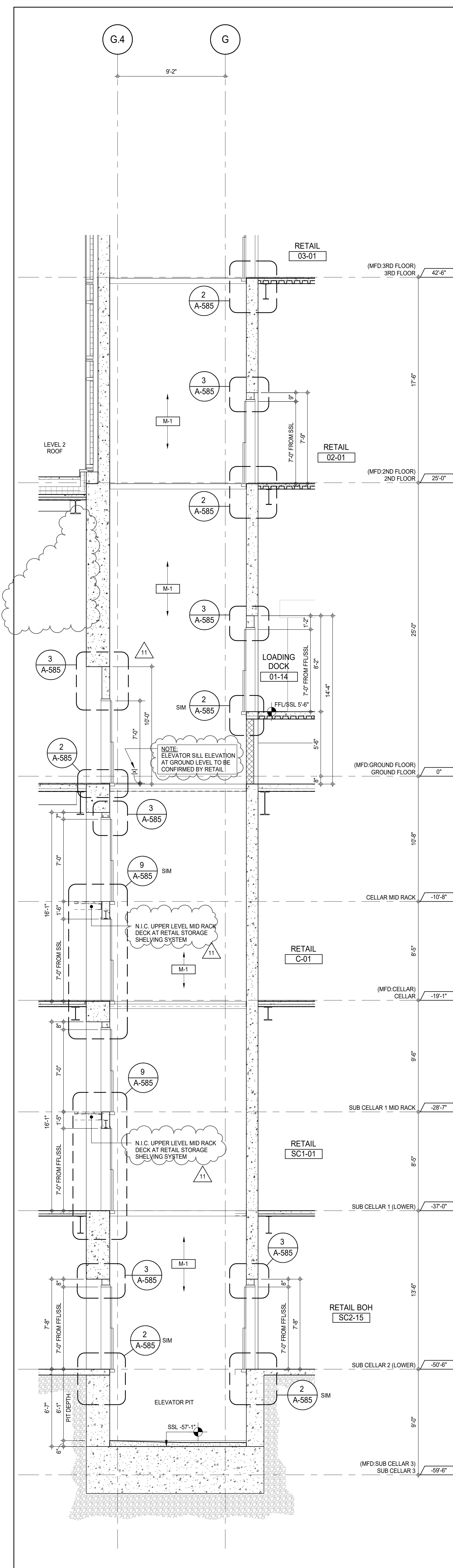
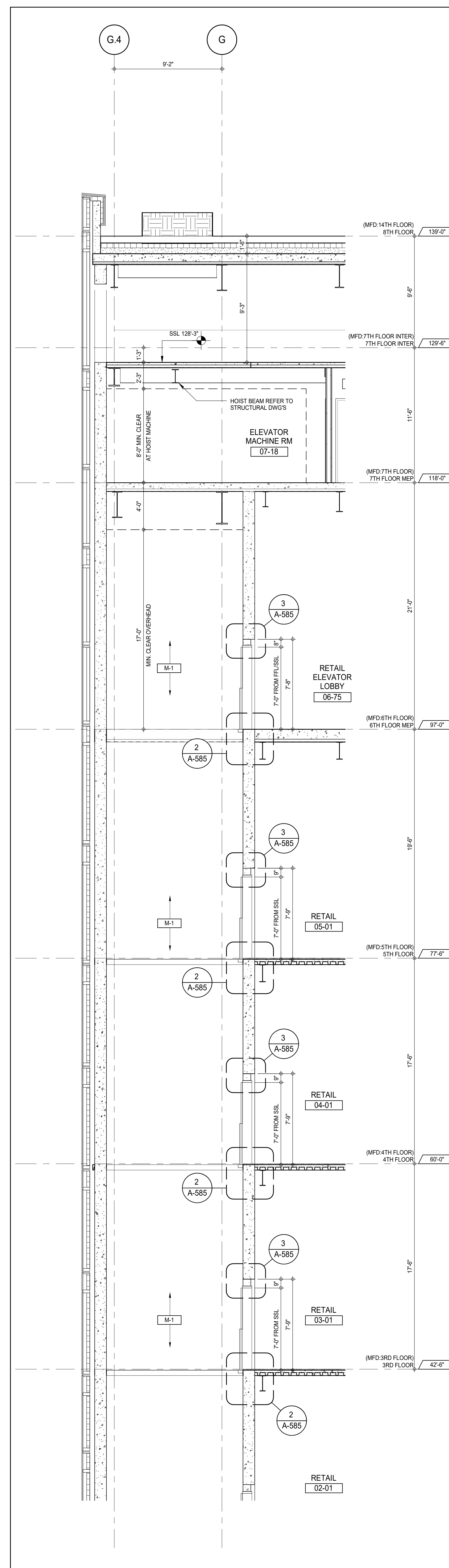
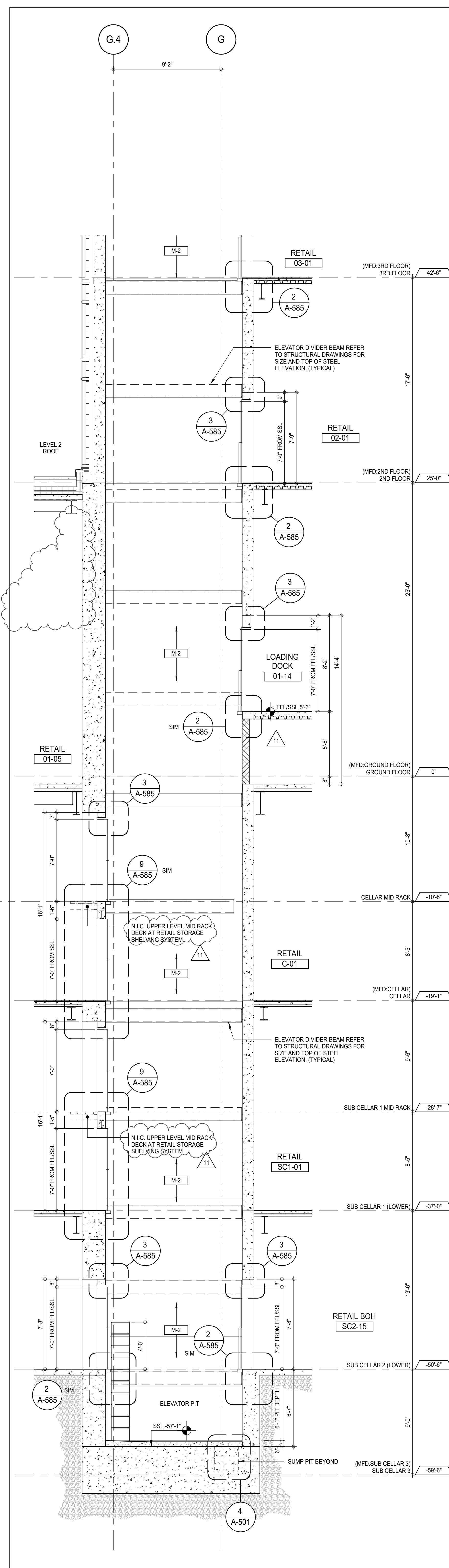
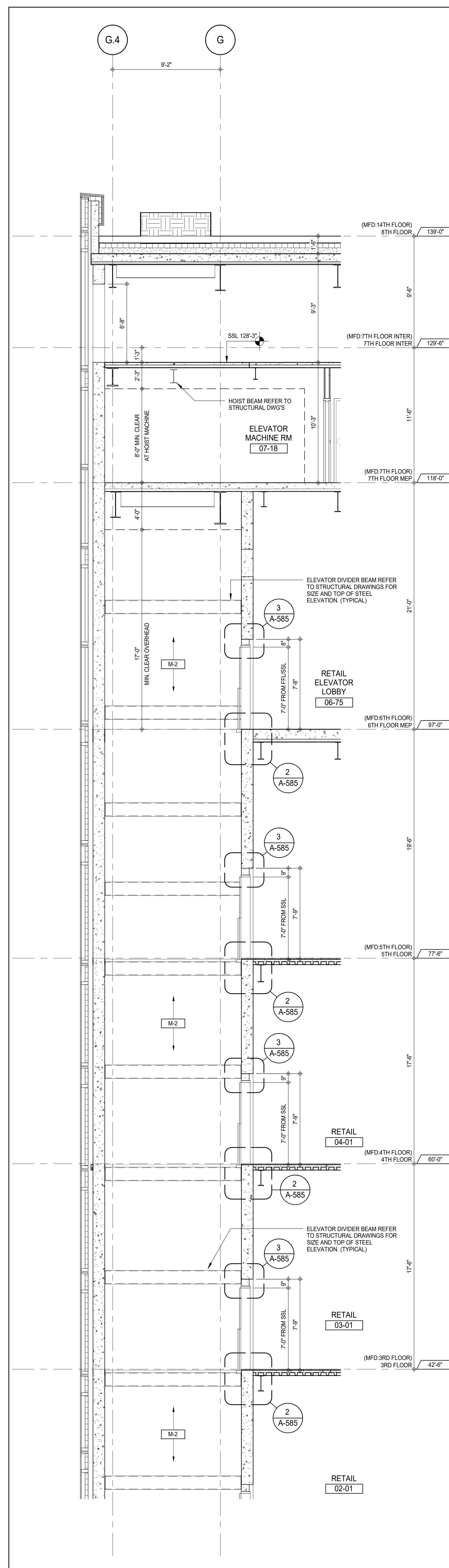
DOB PAGE No:

DOB 5-SCAN:









KEY PLAN

PROJECT NO. 217 WEST 57TH STREET
WEST 57TH ST
7TH AVE
7TH AVE

PROJECT
NORTH
TRUE
NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 East 45th Street
New York, NY 10017
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 350 West 51st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 6181 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8 - GMP SET	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD ISSUE 8 - GMP SET	16 DEC 16
14	CD ISSUE 8 - GMP SET	12 DEC 17

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

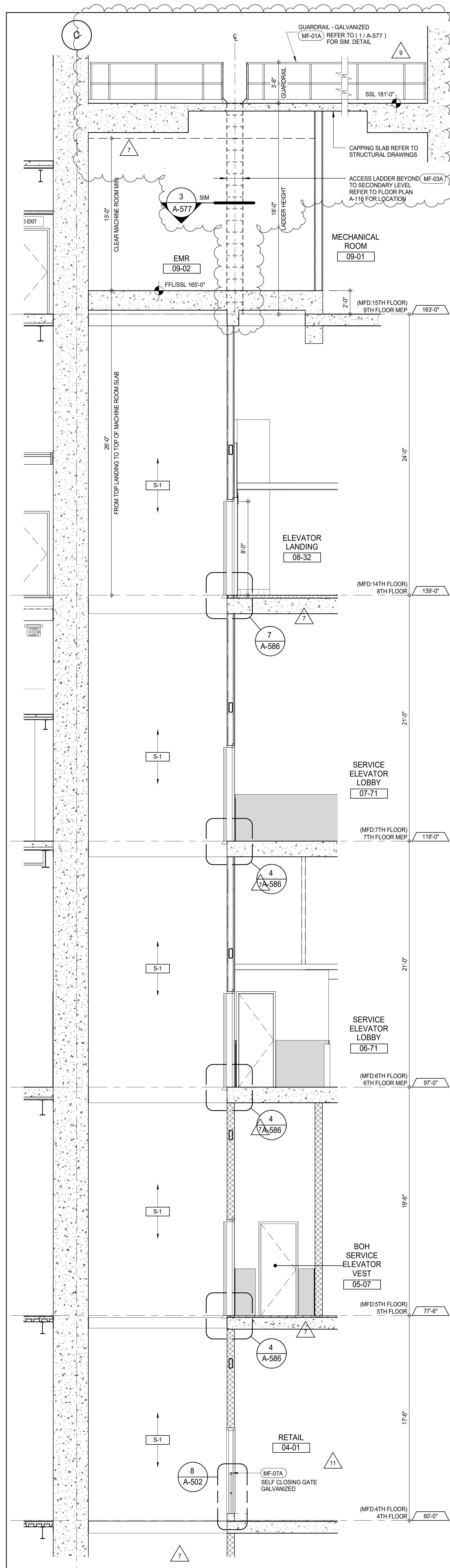
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
ARCHITECTS, P.C.

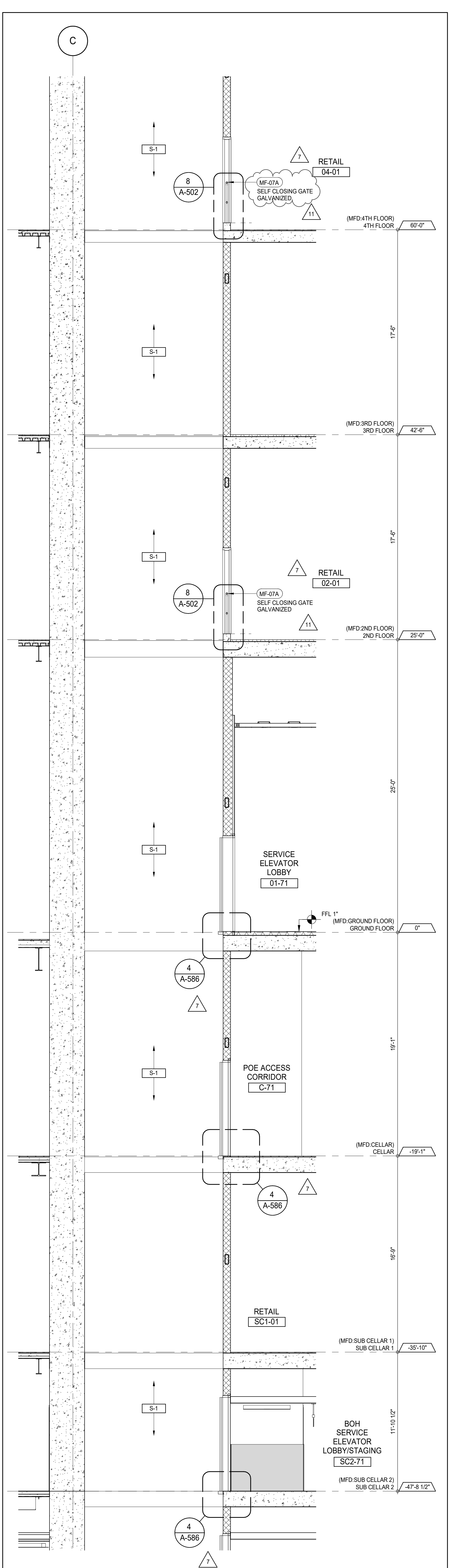
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
PODIUM ELEVATORS M-1 & M-2
ENLARGED SECTIONS

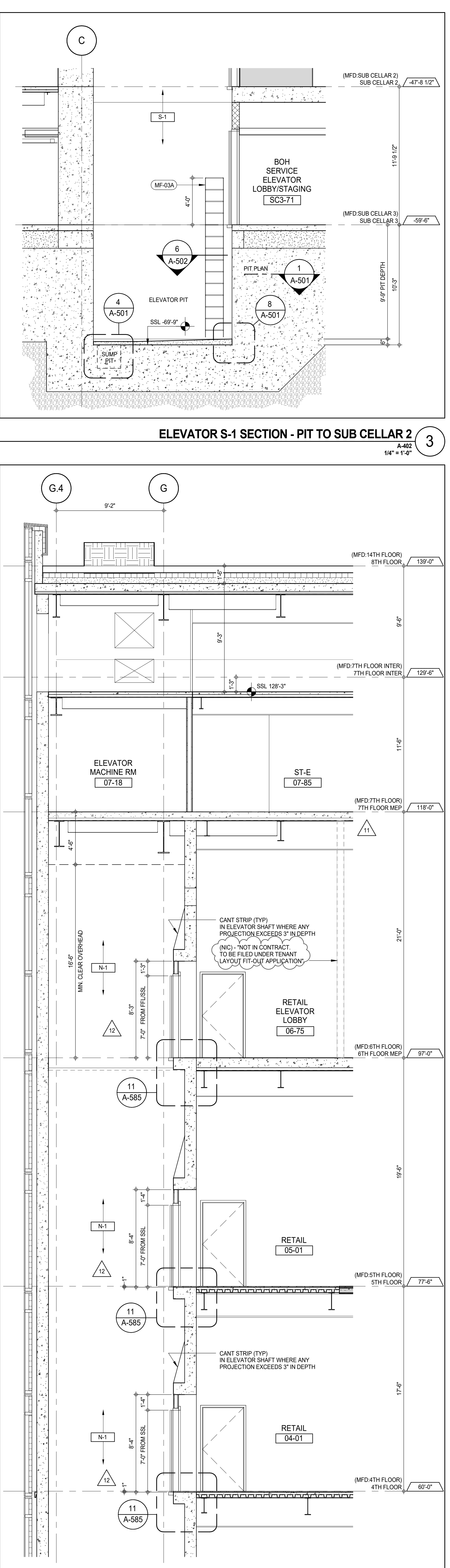
SEAL & SIGNATURE:
DATE: 15 OCT 14
PROJECT NO: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-380.02**
DOB PAGE No: 24 of 33
DOB EMPLOYEE STAMP: DOB 5-SCAN:



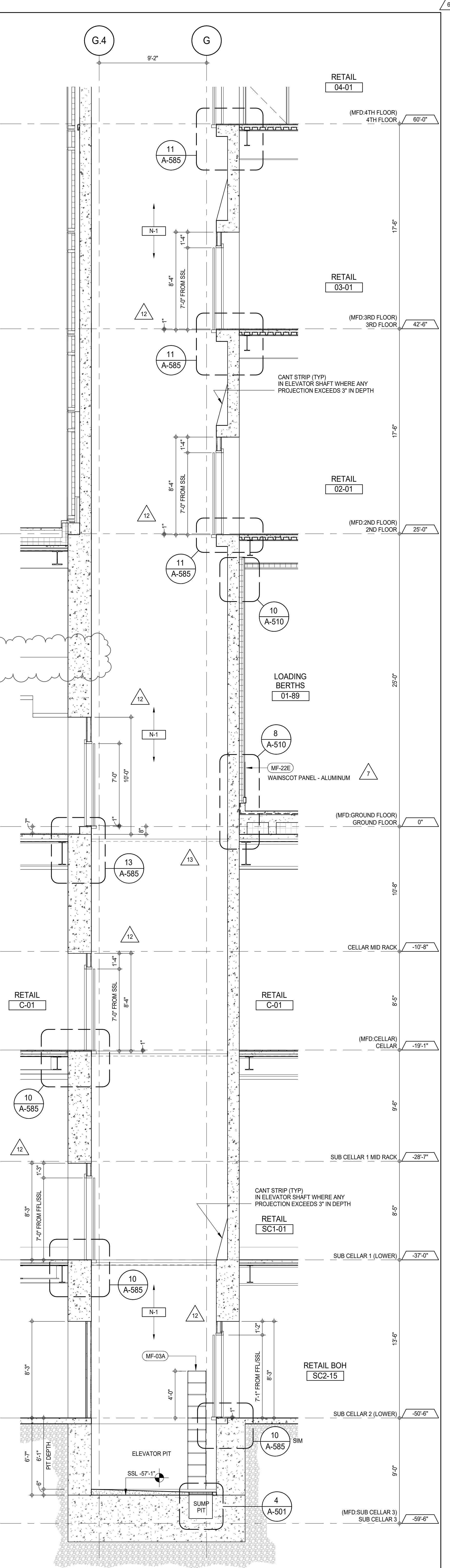
ELEVATOR S-1 SECTION - 5TH TO 9TH FLOOR EMR 5
A-114
1/4" = 1'-0"



ELEVATOR S-1 SECTION - SUB CELLAR 1 TO 4TH FLOOR 4
A-408
1/4" = 1'-0"



ELEVATOR N-1 SECTION - 4TH TO 6TH FLOOR 2
A-461
1/4" = 1'-0"



ELEVATOR N-1 SECTION - PIT TO 3RD FLOOR 1
A-381
1/4" = 1'-0"

KEY PLAN

PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **ADRIAN SMITH + GORDON GILL ARCHITECTURE**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rotter Architecture and Design Studio, PLLC**
208 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 350 West 51st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8 - GMP SET	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	ASI ISSUE - 11	16 DEC 16
15	ASI ISSUE - 16	27 JAN 17
16	ASI ISSUE - 22	20 JUL 17
17	D.O.B. AMENDMENT 4	12 DEC 17

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

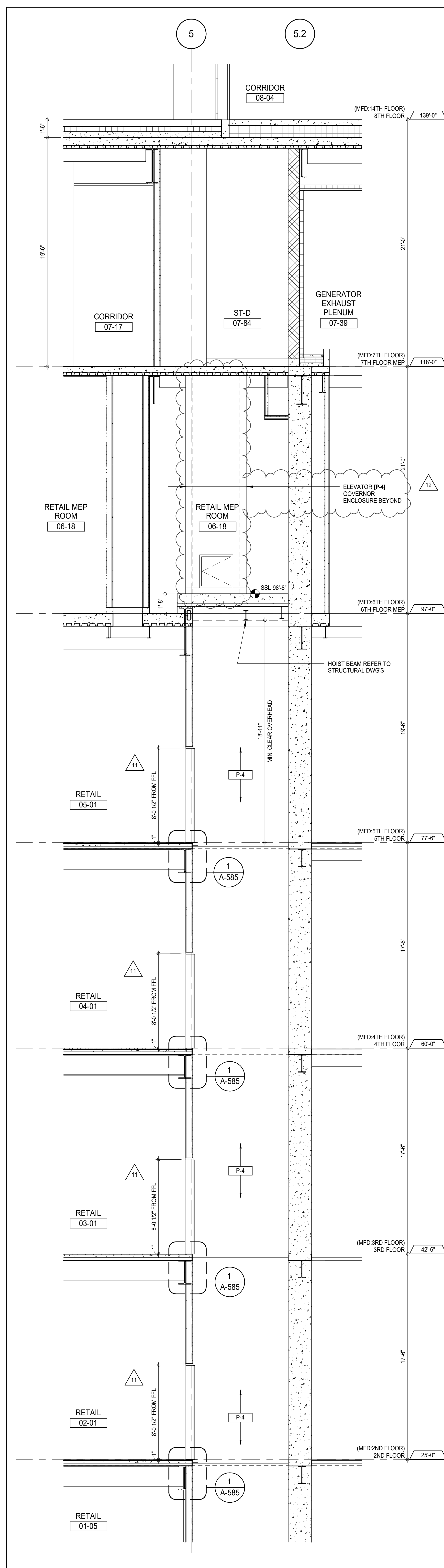
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

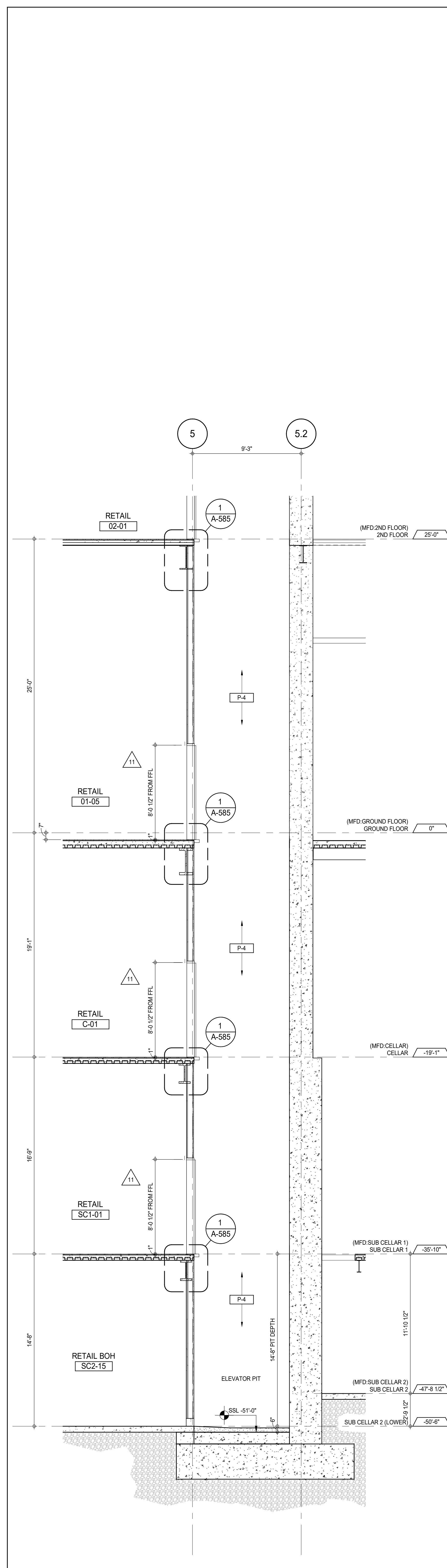
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **PODIUM ELEVATORS N-1 & S-1
ENLARGED SECTIONS**

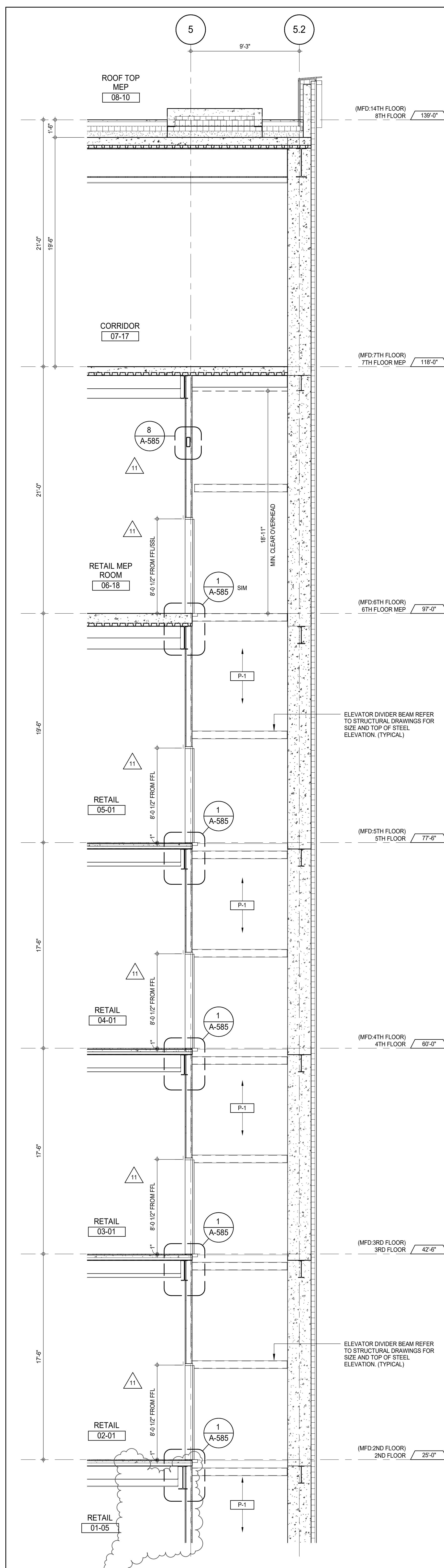
SEAL & SIGNATURE	DATE	PROJECT No.	1216-00
	15 OCT 14	DRAWN: Author	REV: 14
		CHK: Checker	
		SCALE: 1/4" = 1'-0"	
		DWG No: A-381.02	
		DOB PAGE No: 26 of 30	
		DOB 5-SCAN:	



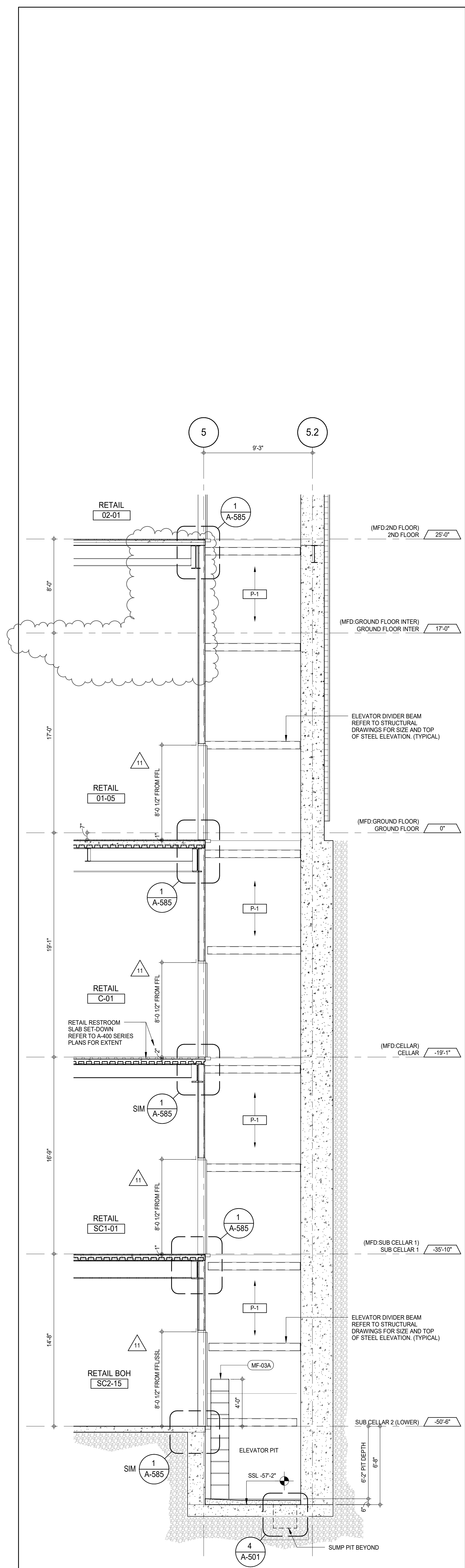
ELEVATOR P-4 SECTION - 2ND TO 5TH FLOORS (P-3 SIM)



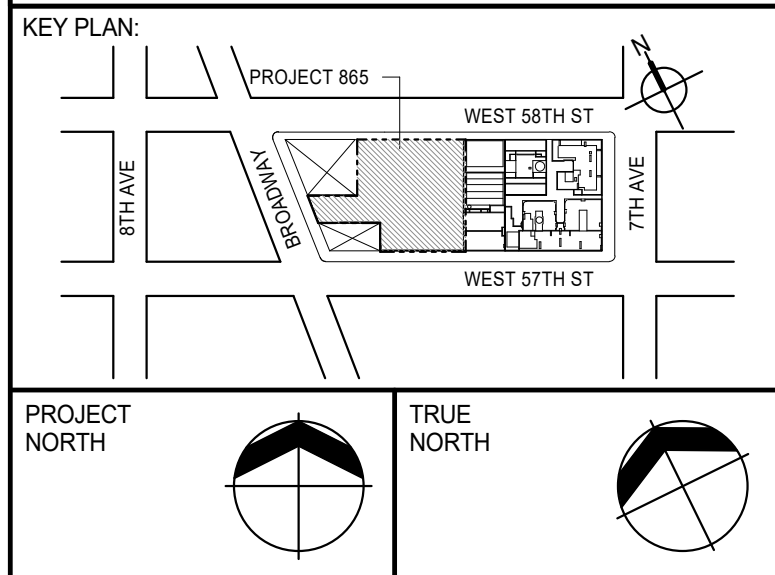
ELEVATOR P-4 SECTION - PIT TO GROUND FLOOR (P-3 SIM)



ELEVATOR P-1 SECTION - 2ND TO 6TH FLOORS (P-2 SIM)



ELEVATOR P-1 SECTION - PIT TO GROUND FLOOR (P-2 SIM)



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 Wellington St W, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 350 West 51st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 6181 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hind Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8	29 JAN 16
12	CD PROGRESS ISSUE 9	31 MAR 16
13	CD PROGRESS ISSUE 10	16 DEC 16
14	CD PROGRESS ISSUE 11	27 JAN 17
15	CD PROGRESS ISSUE 12	12 DEC 17

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

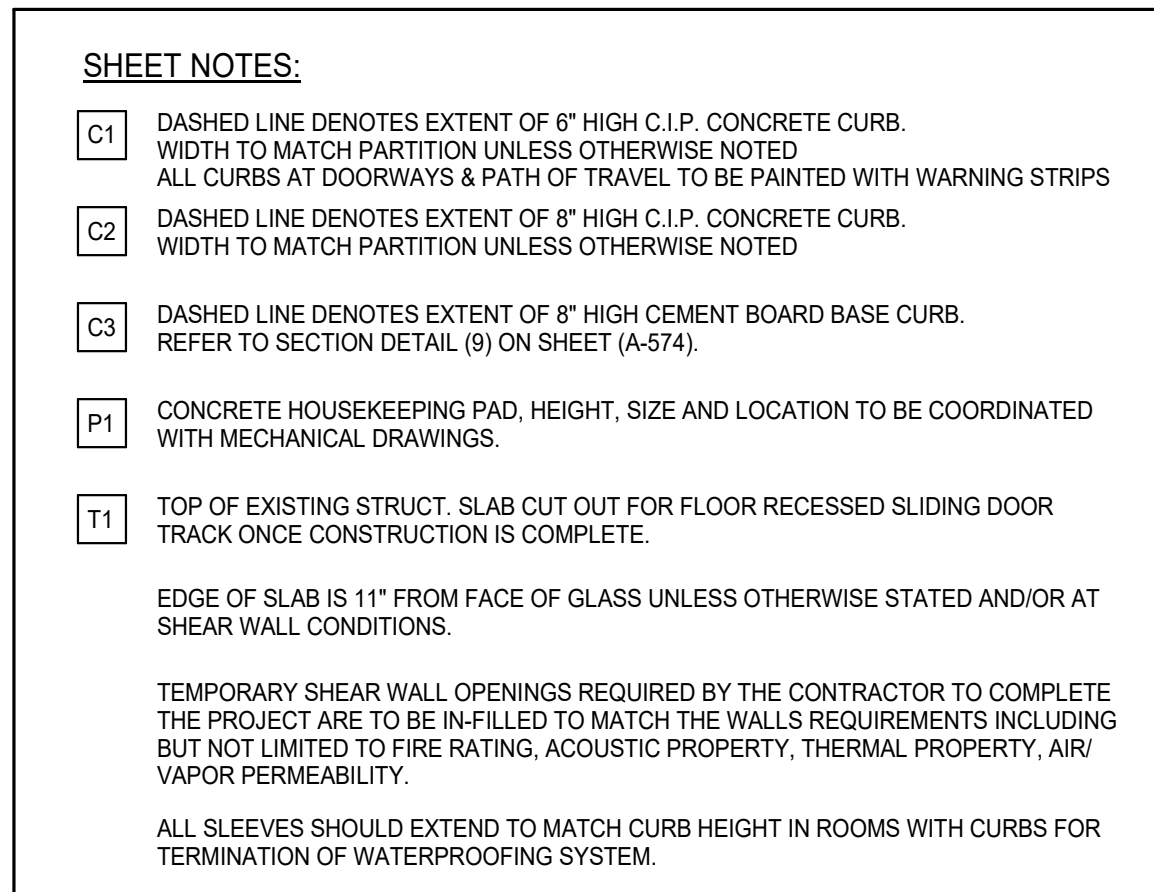


PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **PODIUM ELEVATORS P-1 & P-4**
ENLARGED SECTIONS

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/4" = 1'-0"
DVG No: **A-382.02**

DOB EMPLOYEE STAMP: DOB PAGE No: 26 of 33 DOB 5-SCAN:



TAG #	<u>DESCRIPTION</u>
MF-01A	GUARDRAIL - GALVANIZED
MF-04A	BOLLARD - GALVANIZED
MF-04D	BOLLARD - STAINLESS STEEL
MF-22E	WAINSCOT PANEL - ALUMINUM
MTL-12	PAINTED ALUM INSULATED PANEL ASSEMBLY

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
7	D.O.B. AMENDMENT - 2	21 SEP 15
7	CD PROGRESS ISSUE 6	02 NOV 15
8	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - CD PROCT	31 MAR 16
10	CD BULLETIN ISSUE - 1	22 APR 16
12	AS1 ISSUE - 1	18 MAY 16
13	CD BULLETIN ISSUE - 4	15 JUL 16
14	CD BULLETIN ISSUE - 6	26 AUG 16
15	AS1 ISSUE - 6	14 OCT 16
16	AS1 ISSUE - 11	16 DEC 16
17	CD BULLETIN ISSUE - 7	13 FEB 17
18	AS1 ISSUE - 22	20 JUL 17
	D.O.B. AMENDMENT 4	12 DEC 17



D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL

CONSULTANT:


— — —



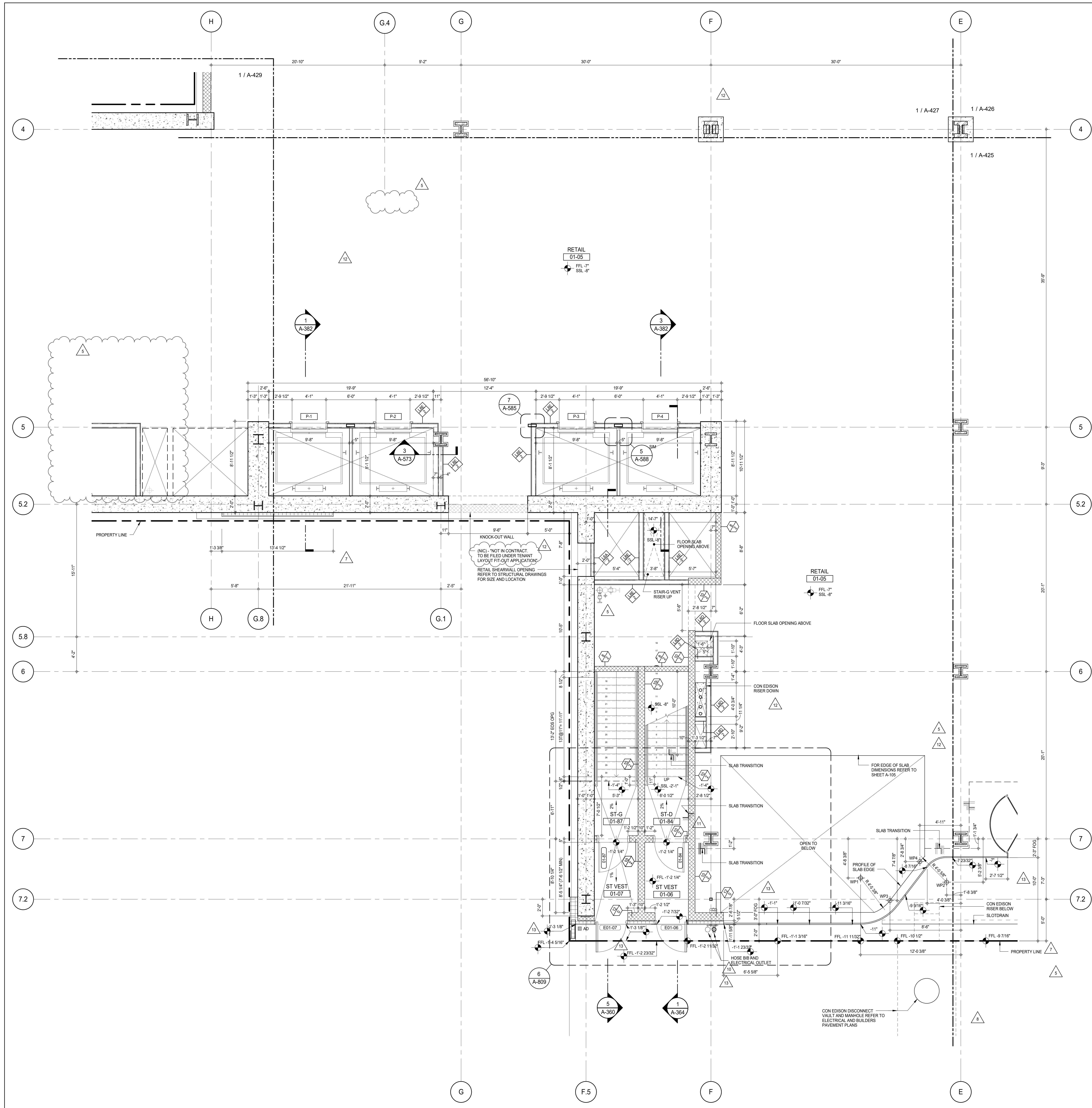
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

GROUND FLOOR PART PLAN
(NORTH-WEST) (MFD-GROUND FLOOR)

SEAL & SIGNATURE: 	DATE: 15 OCT 14	
	PROJECT No: 1216-00	
	DRAWN: Author	REV:
	CHK: Checker	18
	SCALE: 1/4" = 1'-0"	
DWG No: A-427.02		

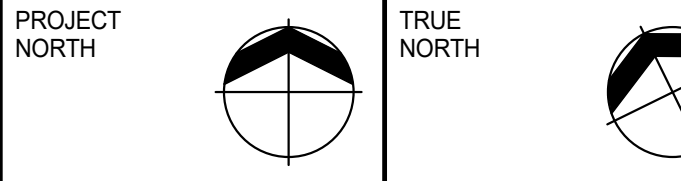
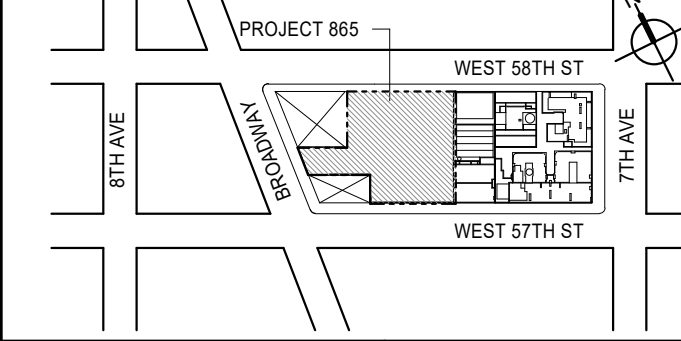
DOB EMPLOYEE STAMP:		DOB B-SCAN:
---------------------	--	-------------



SHEET NOTES:

- C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- C2 DASHED LINE DENOTES EXTENT OF 8" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- C3 DASHED LINE DENOTES EXTENT OF 8" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).
- P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
- T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
- EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.
- TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALL'S REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.
- ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEY PLAN:



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
208 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
Base Building Shell, Core, & Residential
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 360 West 51st Street, 8th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 6181 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8 - GMP SET	29 JAN 16
12	CD BULLETIN ISSUE - 4	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	ASI ISSUE - 6	14 OCT 16
15	D.O.B. AMENDMENT 4	12 DEC 17

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.


ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



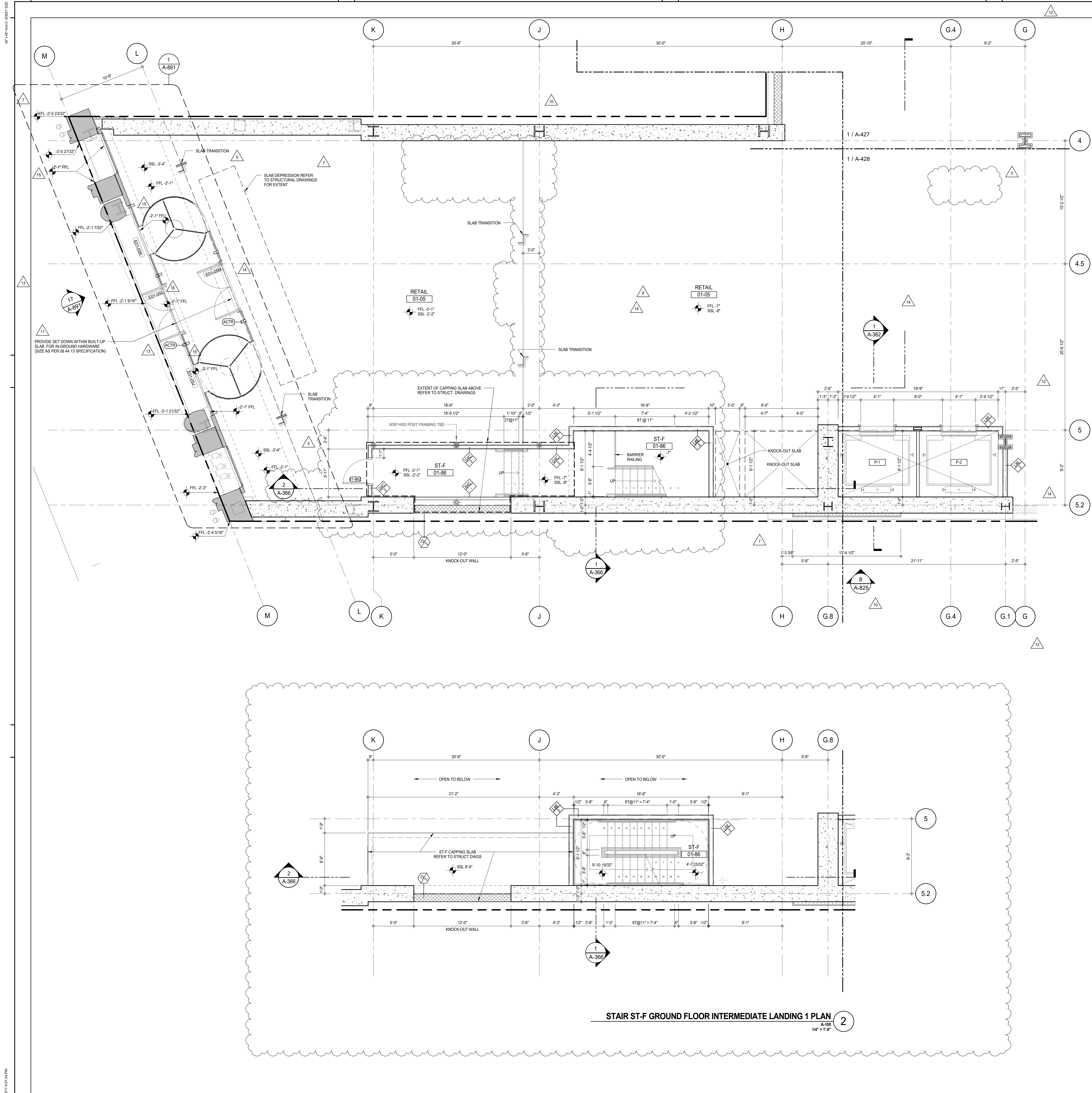
PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **GROUND FLOOR PART PLAN (SOUTH-WEST) (MFD-GROUND FLOOR)**

SEAL & SIGNATURE:	DATE:	15
	PROJECT No:	
	DRAWN: Author	REV:
	CHK: Checker	1
	SCALE: 1/4" = 1'-0"	
	DWG No:	
	A-428.02	

DOB PAGE No: 28 of 33

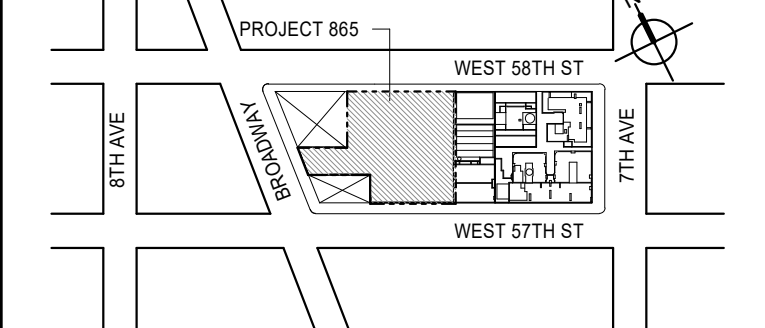
DOB EMPLOYEE STAMP: DOB 5-SCAN:



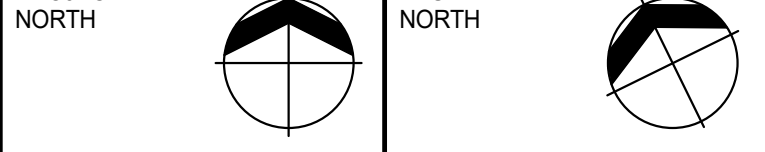
SHEET NOTES:

- C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- C2 DASHED LINE DENOTES EXTENT OF 8" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- C3 DASHED LINE DENOTES EXTENT OF 8" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).
- P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
- T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
- EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.
- TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.
- ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10007
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 6181 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	29 JAN 16
12	CD BULLETIN ISSUE - 1	31 MAR 16
13	CD BULLETIN ISSUE - 2	22 APR 16
14	CD BULLETIN ISSUE - 3	18 MAY 16
15	CD BULLETIN ISSUE - 4	15 JUL 16
16	CD BULLETIN ISSUE - 5	26 AUG 16
17	CD BULLETIN ISSUE - 6	14 OCT 16
18	D.O.B. AMENDMENT 4	12 DEC 17

0 2' - 0" 4' - 0" 8' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

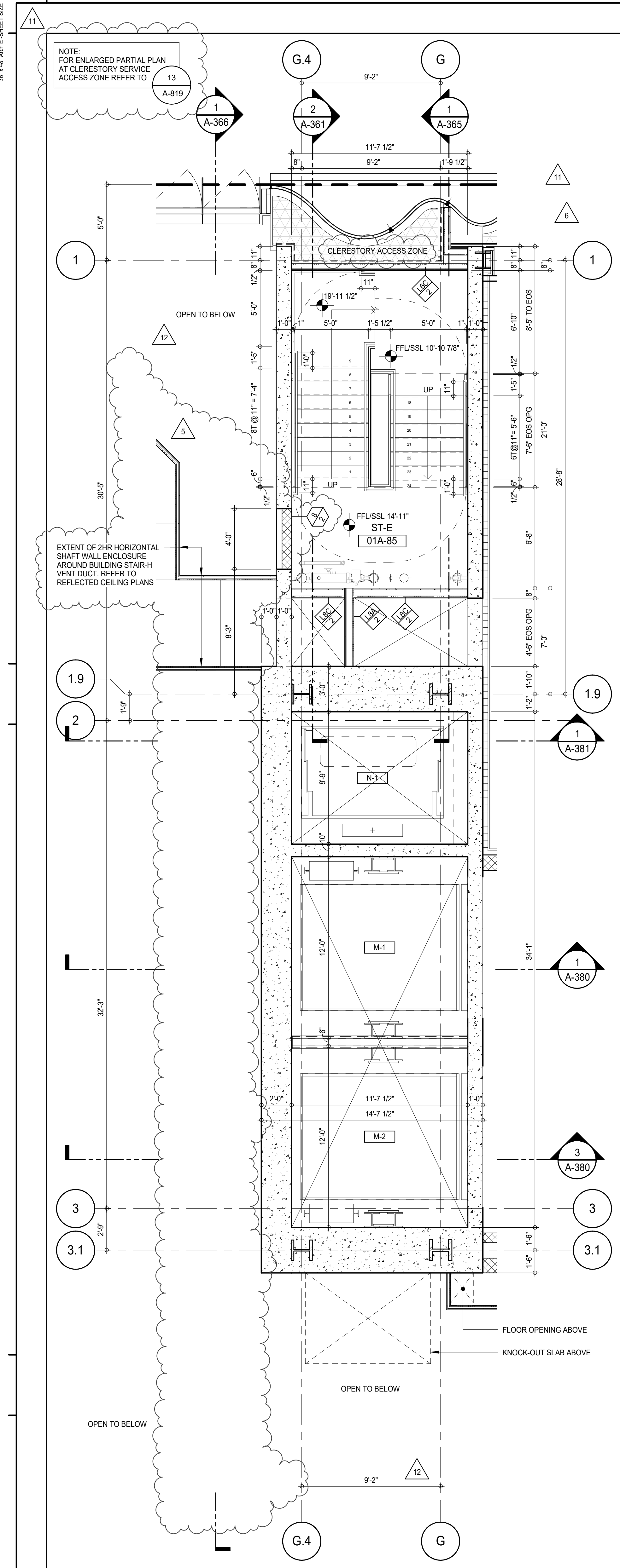
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

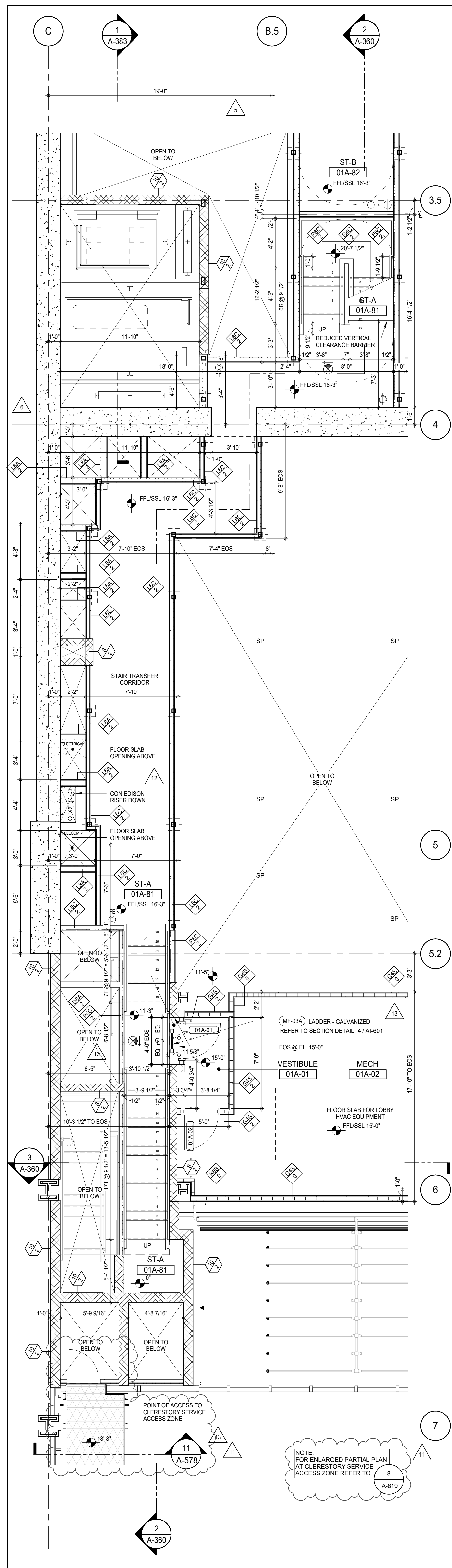
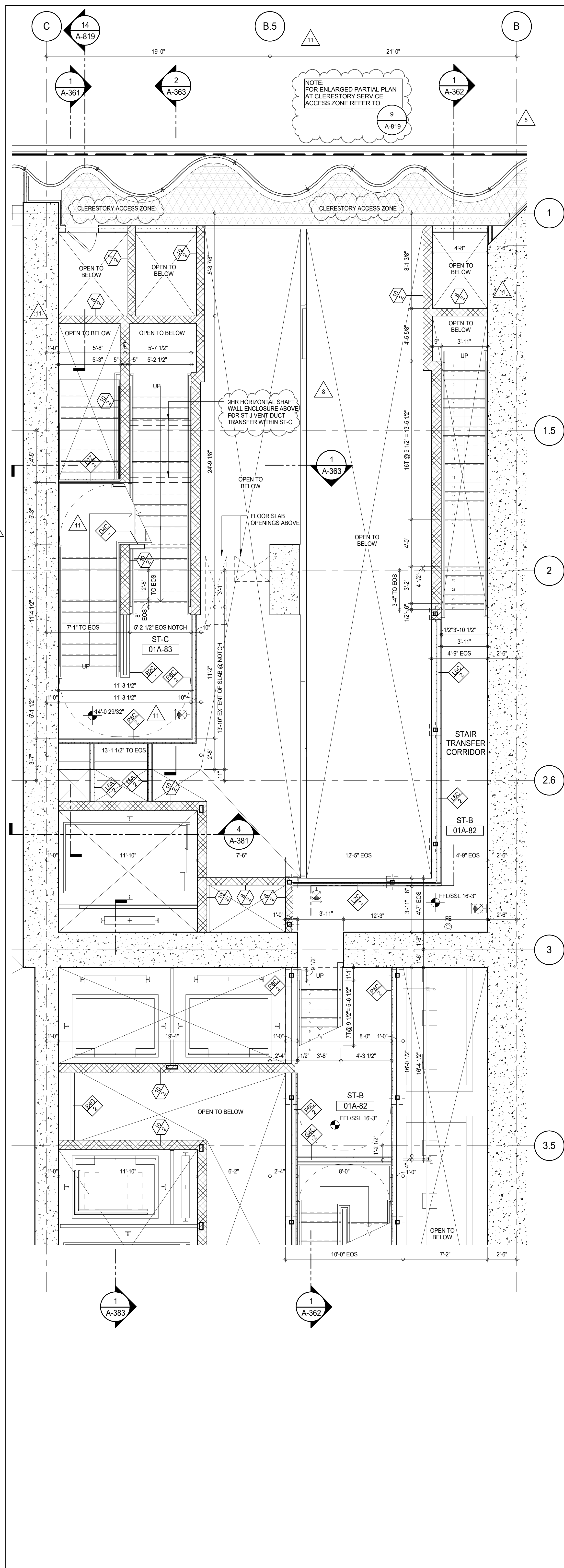
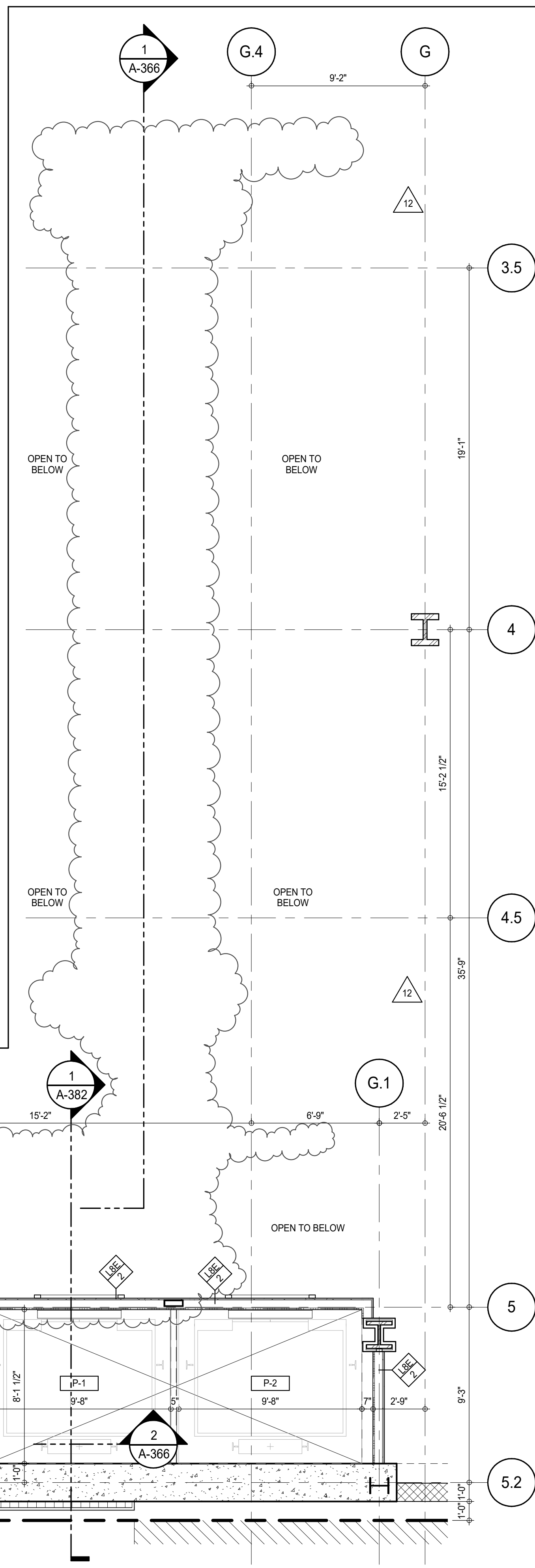
GROUND FLOOR PART PLAN (WEST)
(MFD-GROUND FLOOR)

SEAL & SIGNATURE:

	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	15
SCALE: 1/4" = 1'-0"		
DWG No:		A-429.02
DOB PAGE No:		29 of 33
DOB EMPLOYEE STAMP:		DOB S-SCAN:



KEYNOTE LEGEND:
TAG # DESCRIPTION
MF-03A LADDER - GALVANIZED



KEY PLAN

PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX: 646 989 7000

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10007 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 360 West 21st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 6181 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 4	15 JUL 16
14	CD BULLETIN ISSUE - 6	26 AUG 16
15	CD BULLETIN ISSUE - 20	21 APR 17
16	D.O.B. AMENDMENT 4	12 DEC 17

0' 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **GROUND FLOOR PLAN INTERMEDIATE
(STAIR TRANSFER) (MFD-GENERAL
FLOOR INTERMEDIATE)**

SEAL & SIGNATURE: **DAVID L. AAI**

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

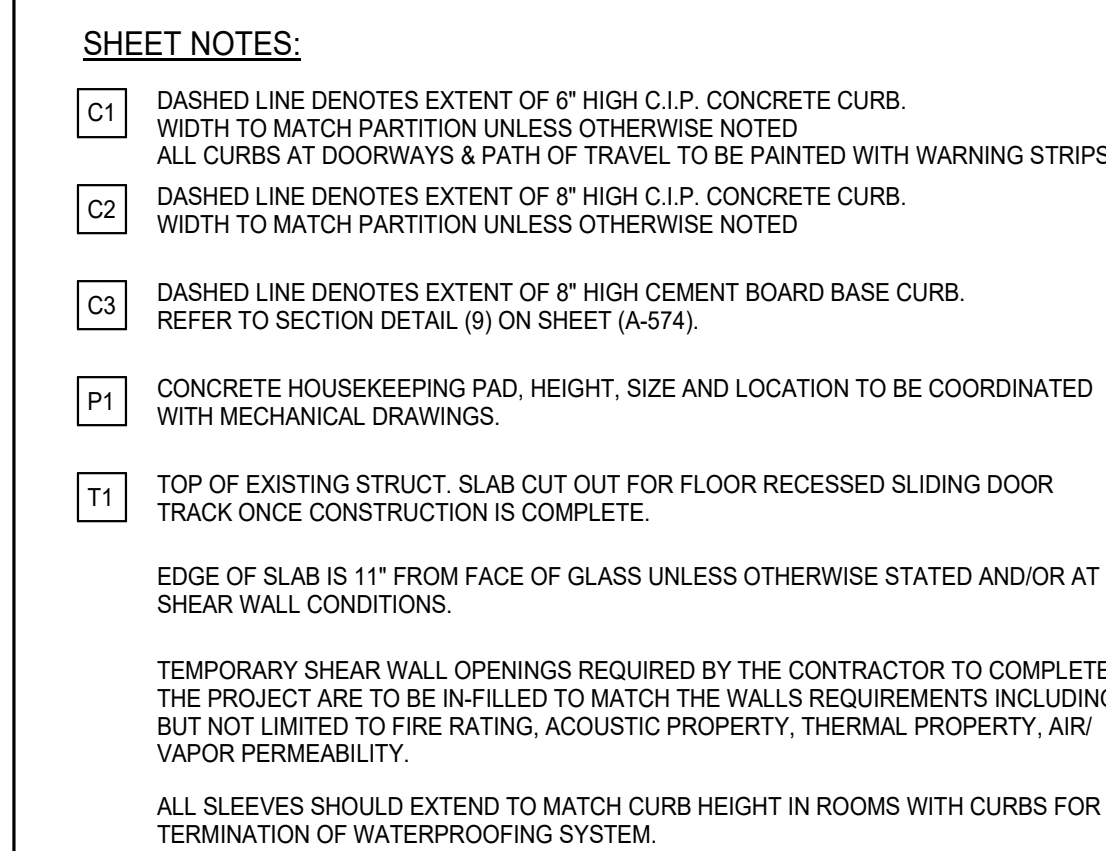
SCALE: 1/4" = 1'-0"

DWG No: **A-430.03**

DOB PAGE No: 36 of 35

DOB EMPLOYEE STAMP: **AAI**

DOB 5-SCAN:





D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



AAI

ARCHITECTS, P.C.

PROJECT:

217 WEST 47TH STREET

NEW YORK, NY

DRAWING TITLE:

2ND FLOOR PLAN (WEST)

(MFD-2ND FLOOR)

SEAL & SIGNATURE: <div style="text-align: center; margin-top: 20px;">  </div>	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DATE:</td> <td style="width: 50%;">15 OCT 14</td> </tr> <tr> <td>PROJECT NO:</td> <td>1216-00</td> </tr> <tr> <td>DRAWN: <i>Amber</i></td> <td>REV:</td> </tr> <tr> <td>CHECK: <i>Chandler</i></td> <td style="text-align: center; font-size: 1.5em; font-weight: bold;">12</td> </tr> <tr> <td colspan="2">SCALE: 1/4" = 1'-0"</td> </tr> <tr> <td colspan="2">DWG NO:</td> </tr> <tr> <td colspan="2" style="text-align: center; font-size: 1.5em; font-weight: bold;">A-435.02</td> </tr> <tr> <td colspan="2">DOB PAGE NO: 31 of 33</td> </tr> </table>	DATE:	15 OCT 14	PROJECT NO:	1216-00	DRAWN: <i>Amber</i>	REV:	CHECK: <i>Chandler</i>	12	SCALE: 1/4" = 1'-0"		DWG NO:		A-435.02		DOB PAGE NO: 31 of 33	
DATE:	15 OCT 14																
PROJECT NO:	1216-00																
DRAWN: <i>Amber</i>	REV:																
CHECK: <i>Chandler</i>	12																
SCALE: 1/4" = 1'-0"																	
DWG NO:																	
A-435.02																	
DOB PAGE NO: 31 of 33																	
DOB EMPLOYEE STAMP:	DOB B-SCAN:																

30" x 48" AIA E-SHEET 125
FILE NAME: 20230717-1157.PLM
PLT DATE: 20230717 11:57 AM

REFLECTED CEILING PLAN SYMBOL LEGEND

SYMBOL	DESCRIPTION
	CEILING MOUNTED
	WALL MOUNTED
	SLEEVED OPENING
	SLAB OPENING
	SLAB OPENING ABOVE (UNLESS NOTED OTHERWISE)
	ACCESS PANEL (HINGED / UNHINGED)
	LIGHT FIXTURE (SQUARE / RECTANGULAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE (LINEAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE (SQUARE / RECTANGULAR / CIRCULAR) - RECESSED (REFER TO ELECTRICAL DRAWINGS)
	WALL MOUNTED LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)
	UNIT ENTRY LIGHT FIXTURE / DOOR BELL (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE - TRACK (REFER TO ELECTRICAL DRAWINGS)
	RETURN AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
	SUPPLY AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
	LINEAR AIR DIFFUSER (SINGLE / DOUBLE) (WHERE X IS: R=RETURN AIR, S=SUPPLY AIR, SBA=SUPPLY RETURN COMBO) (REFER TO MECHANICAL DRAWINGS)
	SPRINKLER HEAD (REFER TO FIRE PROTECTION DRAWINGS)
	DETECTORS WITH JUNCTION BOX RECESSED IN DROP CEILING (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
	DETECTORS WITH JUNCTION BOX AND CONDUIT RECESSED IN SLAB (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
	VOICE ALARM SPEAKER (REFER TO FIRE ALARM DRAWINGS)
	VOICE ALARM SPEAKER & STROBE LIGHT (REFER TO FIRE ALARM DRAWINGS)
	EXIT LIGHT (REFER TO ELECTRICAL DRAWINGS)
	ELECTRICAL RECEPTACLE OUTLET (REFER TO ELECTRICAL DRAWINGS)
	CEILING MOUNTED JUNCTION BOX (REFER TO ELECTRICAL DRAWINGS)
	CEILING MOUNTED JUNCTION BOX RECESSED IN SLAB
	CEILING MOUNTED JUNCTION BOX WITH IN SLAB CONDUIT AND STUB OUTS
	TELECOM - REFER TO TELECOM DRAWINGS
	SPECIAL PURPOSE CONNECTION
	SPEAKER OUTLET
	ALARM
	SECURITY CAMERA (REFER TO SECURITY DRAWINGS)
	WINDOW WASHING TRACK (REFER TO 14" PLANS)

GENERAL NOTES:

1. **COORDINATION:**
REFLECTED CEILING PLANS ARE FOR GENERAL COORDINATION AND LAYOUT ONLY. FOR QUANTITIES AND TYPES OF FIXTURES AND EQUIPMENT REFER TO MECHANICAL, ELECTRICAL, IT, SECURITY, AUDIOVISUAL, COMMUNICATIONS, FIRE PROTECTION, PLUMBING AND SIGNAGE DRAWINGS.

2. **ACCESS PANELS:**
PRIOR TO COMMENCING INSTALLATION OF SERVICES AND WORK NOTED ABOVE, PREPARE A COMPLETE COORDINATED LAYOUT OF ALL ACCESS PANELS WHICH ARE REQUIRED. SUBMIT LAYOUT TO INDICATE EXACT SIZES AND LOCATIONS OF THE ACCESS POINTS FOR CONSULTANT'S REVIEW. PLACE CONTROLS, DAMPERS, SHUTOFF VALVES, ETC. IN ACCESSIBLE CEILING SYSTEM AREAS WHEREVER POSSIBLE. ALL ACCESS PANELS ARE DIMENSIONED TO THE CENTERLINE OF THE PANEL.

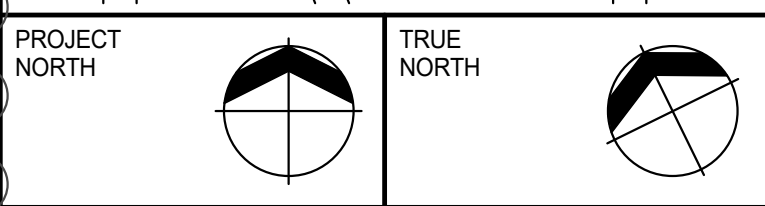
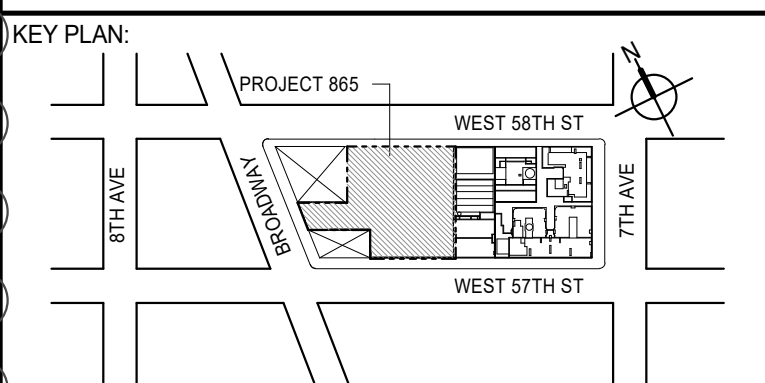
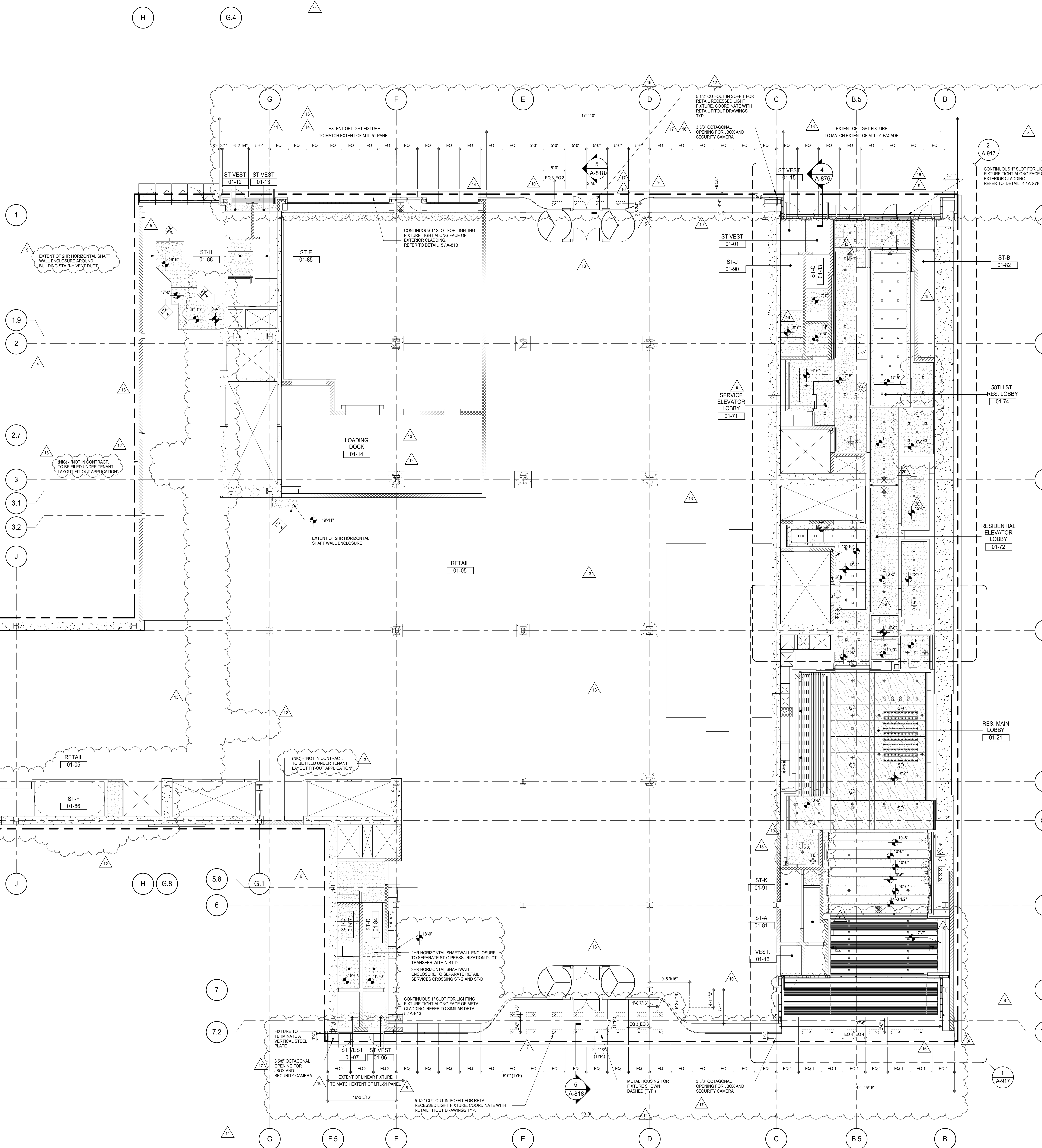
3. **SPRINKLERS:**
CENTER SPRINKLER HEADS AND DEVICES IN ACOUSTICAL CEILING TILES WHERE APPLICABLE OR AS DIMENSIONED ON THE RCP.

4. **BATHROOMS:**
FOR ALL BATHROOM CEILING FIXTURE LAYOUTS REFER TO A-900 SERIES DRAWINGS UNLESS OTHERWISE NOTED.

5. **ALL SPOT ELEVATION MARKERS WITHIN THE RESIDENTIAL LOBBY AREA ARE TAKEN FROM 1" ABOVE GROUND FLOOR ELEVATION. ALL SPOT ELEVATION MARKERS WITHIN EXIT STAIRS, AND RETAIL AREAS ARE TAKEN FROM THE GROUND FLOOR ELEVATION.**

KEYNOTE LEGEND

TAG #	DESCRIPTION
1	CEILING MOUNTED
2	WALL MOUNTED
3	SLEEVED OPENING
4	SLAB OPENING
5	SLAB OPENING ABOVE (UNLESS NOTED OTHERWISE)
6	ACCESS PANEL (HINGED / UNHINGED)
7	LIGHT FIXTURE (SQUARE / RECTANGULAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
8	LIGHT FIXTURE (LINEAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
9	LIGHT FIXTURE (SQUARE / RECTANGULAR / CIRCULAR) - RECESSED (REFER TO ELECTRICAL DRAWINGS)
10	WALL MOUNTED LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)
11	UNIT ENTRY LIGHT FIXTURE / DOOR BELL (REFER TO ELECTRICAL DRAWINGS)
12	LIGHT FIXTURE - TRACK (REFER TO ELECTRICAL DRAWINGS)
13	RETURN AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
14	SUPPLY AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
15	LINEAR AIR DIFFUSER (SINGLE / DOUBLE) (WHERE X IS: R=RETURN AIR, S=SUPPLY AIR, SBA=SUPPLY RETURN COMBO) (REFER TO MECHANICAL DRAWINGS)
16	SPRINKLER HEAD (REFER TO FIRE PROTECTION DRAWINGS)
17	DETECTORS WITH JUNCTION BOX RECESSED IN DROP CEILING (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
18	DETECTORS WITH JUNCTION BOX AND CONDUIT RECESSED IN SLAB (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
19	VOICE ALARM SPEAKER (REFER TO FIRE ALARM DRAWINGS)
20	VOICE ALARM SPEAKER & STROBE LIGHT (REFER TO FIRE ALARM DRAWINGS)
21	EXIT LIGHT (REFER TO ELECTRICAL DRAWINGS)
22	ELECTRICAL RECEPTACLE OUTLET (REFER TO ELECTRICAL DRAWINGS)
23	CEILING MOUNTED JUNCTION BOX (REFER TO ELECTRICAL DRAWINGS)
24	CEILING MOUNTED JUNCTION BOX RECESSED IN SLAB
25	CEILING MOUNTED JUNCTION BOX WITH IN SLAB CONDUIT AND STUB OUTS
26	TELECOM - REFER TO TELECOM DRAWINGS
27	SPECIAL PURPOSE CONNECTION
28	SPEAKER OUTLET
29	ALARM
30	SECURITY CAMERA (REFER TO SECURITY DRAWINGS)
31	WINDOW WASHING TRACK (REFER TO 14" PLANS)



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rotter Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX: 646 989 7000

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 West 57th St, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 360 West 21st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	CD PROGRESS ISSUE 3	09 MAR 15
3	CD PROGRESS ISSUE 4	01 JUN 15
4	CD PROGRESS ISSUE 5	10 AUG 15
5	CD PROGRESS ISSUE 6	02 NOV 15
6	CD PROGRESS ISSUE 7	14 JAN 16
7	CD PROGRESS ISSUE 8	29 JAN 16
8	CD PROGRESS ISSUE 9	31 MAR 16
9	CD PROGRESS ISSUE 10	22 APR 16
10	CD PROGRESS ISSUE 11	11 MAY 16
11	CD PROGRESS ISSUE 12	18 MAY 16
12	CD PROGRESS ISSUE 13	12 AUG 16
13	CD PROGRESS ISSUE 14	26 AUG 16
14	CD PROGRESS ISSUE 15	16 DEC 16
15	CD PROGRESS ISSUE 16	23 DEC 16
16	CD PROGRESS ISSUE 17	27 JAN 17
17	CD PROGRESS ISSUE 18	13 FEB 17
18	CD PROGRESS ISSUE 19	24 MAR 17
19	CD PROGRESS ISSUE 20	21 APR 17
20	CD PROGRESS ISSUE 21	05 JUN 17
21	CD PROGRESS ISSUE 22	12 DEC 17

D.O.B. SUBMISSION

REFLECTED CEILING PLAN SYMBOL LEGEND

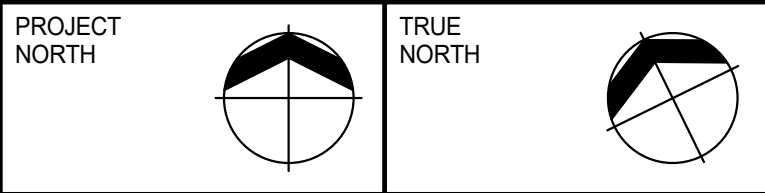
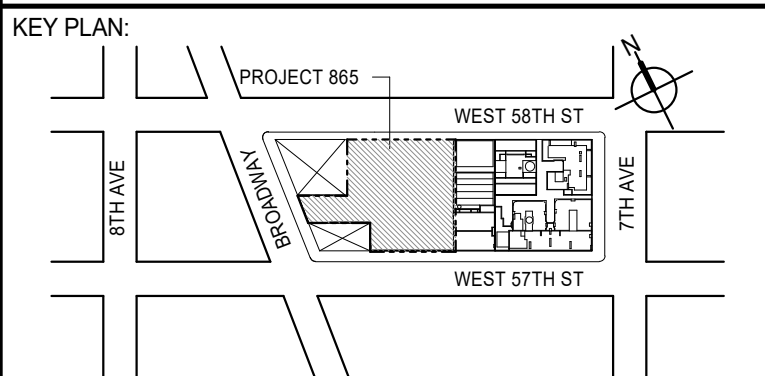
SYMBOL	DESCRIPTION
	CEILING MOUNTED
	WALL MOUNTED
	SLEEVED OPENING
	SLAB OPENING
	SLAB OPENING ABOVE (UNLESS NOTED OTHERWISE)
	ACCESS PANEL (HINGED / UNHINGED)
	LIGHT FIXTURE (SQUARE / RECTANGULAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE (LINEAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE (SQUARE / RECTANGULAR / CIRCULAR) - RECESSED (REFER TO ELECTRICAL DRAWINGS)
	WALL MOUNTED LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)
	UNIT ENTRY LIGHT FIXTURE / DOOR BELL (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE - TRACK (REFER TO ELECTRICAL DRAWINGS)
	RETURN AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
	SUPPLY AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
	LINEAR AIR DIFFUSER (SINGLE / DOUBLE) (WHERE X IS: R=RETURN AIR, S=SUPPLY AIR, S=6=6 SUPPLY RETURN COMBO) (REFER TO MECHANICAL DRAWINGS)
	SPRINKLER HEAD (REFER TO FIRE PROTECTION DRAWINGS)
	DETECTORS WITH JUNCTION BOX RECESSED IN DROP CEILING (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
	DETECTORS WITH JUNCTION BOX AND CONDUIT RECESSED IN SLAB (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
	VOICE ALARM SPEAKER (REFER TO FIRE ALARM DRAWINGS)
	VOICE ALARM SPEAKER & STROBE LIGHT (REFER TO FIRE ALARM DRAWINGS)
	EXIT LIGHT (REFER TO ELECTRICAL DRAWINGS)
	ELECTRICAL RECEPTACLE OUTLET (REFER TO ELECTRICAL DRAWINGS)
	CEILING MOUNTED JUNCTION BOX (REFER TO ELECTRICAL DRAWINGS)
	CEILING MOUNTED JUNCTION BOX RECESSED IN SLAB
	CEILING MOUNTED JUNCTION BOX WITH IN SLAB CONDUIT AND STUB OUTS
	TELECOM - REFER TO TELECOM DRAWINGS
	SPECIAL PURPOSE CONNECTION
	SPEAKER OUTLET
	ALARM
	SECURITY CAMERA (REFER TO SECURITY DRAWINGS)
	WINDOW WASHING TRACK (REFER TO 1/4" PLANS)

EXTENT OF 2HR HORIZONTAL SHAFT WALL ENCLOSURE AROUND BUILDING STAIR-HAVENT DUCT

EXTENT OF 2HR FIRE-RATED ENCLOSURE REFER TO CORRESPONDING FIRE PROTECTION DRAWINGS

GENERAL NOTES:

- COORDINATION:** REFLECTED CEILING PLANS ARE FOR GENERAL COORDINATION AND LAYOUT ONLY. FOR QUANTITIES AND TYPES OF FIXTURES AND EQUIPMENT REFER TO MECHANICAL, ELECTRICAL, IT, SECURITY, AUDIOVISUAL, COMMUNICATIONS, FIRE PROTECTION, PLUMBING AND SIGNAGE DRAWINGS.
- ACCESS PANELS:** PRIOR TO COMMENCING INSTALLATION OF SERVICES AND WORK NOTED ABOVE, PREPARE A COMPLETE COORDINATED LAYOUT OF ALL ACCESS PANELS WHICH ARE REQUIRED. SUBMIT LAYOUT TO INDICATE EXACT SIZES AND LOCATIONS OF THE ACCESS POINTS FOR CONSULTANTS REVIEW. PLACE CONTROLS, DAMPERS, SHUTOFF VALVES, ETC. IN ACCESSIBLE CEILING SYSTEM AREAS WHEREVER POSSIBLE. ALL ACCESS PANELS ARE DIMENSIONED TO THE CENTERLINE OF THE PANEL.
- SPRINKLERS:** CENTER SPRINKLER HEADS AND DEVICES IN ACOUSTICAL CEILING TILES WHERE APPLICABLE OR AS DIMENSIONED ON THE RCP.
- BATHROOMS:** FOR ALL BATHROOM CEILING FIXTURE LAYOUTS REFER TO A-900 SERIES DRAWINGS UNLESS OTHERWISE NOTED.



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 350 West 51st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1515 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	CD PROGRESS ISSUE 4	01 JUN 15
3	CD PROGRESS ISSUE 5	10 AUG 15
4	D.O.B. AMENDMENT 2	21 SEP 15
5	CD PROGRESS ISSUE 6	02 NOV 15
6	CMU DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
7	CD PROGRESS ISSUE 7	29 JAN 16
8	CD BULLETIN ISSUE - 1	31 MAR 16
9	CD BULLETIN ISSUE - 4	22 APR 16
10	CD BULLETIN ISSUE - 6	15 JUL 16
11	CD BULLETIN ISSUE - 11	28 AUG 16
12	ASI ISSUE - 11	16 DEC 16
13	D.O.B. AMENDMENT 4	12 DEC 17

/ISSUED AS A-306- CD PROGRESS ISSUE 5 - 09 MAR 15/

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **GROUND FLOOR INTERMEDIATE
REFLECTED CEILING PLAN (STAIR
TRANSFER) (MFD-GROUND FLOOR
INTERMEDIATE)**

SEAL & SIGNATURE: DATE: 19 DEC 14
PROJECT No: 1216-00
DRAWN: Author REV: 11
CHK: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-706.02**

DOB EMPLOYEE STAMP: 33 of 33 DOB 5-SCAN: